



Village of Hampshire
Planning & Zoning Commission Meeting
Monday, July 27, 2026 - 7:00 PM
Hampshire Village Hall
234 South State Street, Hampshire, IL 60140

AGENDA

1. Call to Order
2. Pledge of Allegiance
3. Roll Call
4. Motion to Approve the Meeting Minutes from June 8, 2026
5. Public Comments
6. New Business

a. Case# PZC-26-07 - Public Meeting

Address: Southeast Quadrant of US Highway 20 and Big Timber Road

PIN: 01-13-400-008; 01-13-400-009; 01-13-400-006; 02-18-300-002; 02-19-100-003; 02-19-100-004

Petitioner & Owner: Hampshire East, LLC dba Crown Community Development

Request: The following requests are being made:

1. Final Plat of Subdivision Approval for Oakstead Neighborhood K
2. Final Plat of Subdivision Approval for Oakstead Neighborhood R
3. Final Plat of Subdivision Approval for Oakstead Neighborhood S
4. Final Plat of Subdivision Approval for Oakstead Neighborhood H
5. Final Plat of Subdivision Approval for Oakstead Neighborhood I
6. Final Plat of Subdivision Approval for Oakstead Neighborhood J

Action: Motion to make a recommendation regarding Case# PZC-26-07

b. Case# PZC-26-10 - Public Meeting

Address: 1221 Fox Hedge Trail & Outlot 11 Prairie Ridge North

PIN: 01-15-178-015; -016

Petitioner & Owner: Anthony & Emily Canelakes and Hampshire West, LLC (dba Crown Community Development)

Request: Final Plat of Resubdivision Approval for 1221 Fox Hedge Trail and Outlot 11 Prairie Ridge North

Action: Motion to make a recommendation regarding Case# PZC-26-10

c. Case# PZC-26-08 – Public Hearing

Address: No Address

PIN: 01-11-200-012

Petitioner & Owner: David Huang

Request: The following requests are being made:

1. Variance from Sec. 6-12-4-C-2 referenced by Sec. 6-12-3-L of the Hampshire Zoning Ordinance to permit a real estate sign size area of 128 sq. ft., whereas the maximum size area allowed is 60 sq. ft.
2. Variance from Sec. 6-12-4-C-3 referenced by Sec. 6-12-3-L of the Hampshire Zoning Ordinance to permit a real estate sign height of 11 ft., whereas the maximum height allowed is 5.5 ft.

Action: Motion(s) to make a recommendation(s) regarding Case# PZC-26-08

d. Case# PZC-26-09 – Public Hearing

Address: 203 Loves Crossing/205 Metrix Dr.

PIN: 01-03-251-001; -002

Petitioner & Owner: Chris Helle

Request: The following requests are being made:

1. Variance from Sec. 6-11-2-J of the Hampshire Zoning Ordinance to permit a temporary gravel parking lot, whereas a paved surface is required.

Action: Motion(s) to make a recommendation(s) regarding Case# PZC-26-09

7. Old Business

8. Announcements

9. Adjournment

Public Comments: The Commission will allow each person who is properly registered to speak a maximum time of five (5) minutes, provided the Chairman may reduce the maximum time to three (3) minutes before public comments begin if more than five (5) persons have registered to speak. Public comment is meant to allow for expression of opinion on, or for inquiry regarding, public affairs but is not meant for debate with the Board or its members. Good order and proper decorum shall always be maintained.

Recording: Please note that all meetings held by video conference may be recorded, and all recordings will be made public. While State Law does not require consent, by requesting an invitation, joining the meeting by link or streaming, all participants acknowledge and consent to their image and voice being recorded and made available for public viewing.

Accommodations: The Village of Hampshire, in compliance with the Americans with Disabilities Act, requests that persons with disabilities, who require certain accommodations to allow them to observe and/or participate in the meeting(s) or have questions about the accessibility of the meeting(s) or facilities, contact the Village at 847-683-2181 to allow the Village to make reasonable accommodations for these persons.



Village of Hampshire
Planning & Zoning Commission Meeting
Monday, June 8, 2026 - 7:00 PM
Hampshire Village Hall
234 South State Street, Hampshire, IL 60140

MEETING MINUTES

1. **Call to Order**

The Village of Hampshire Planning & Zoning Commission was called to order by Chairwoman Klein at 7:00 P.M.

2. **Pledge of Allegiance**

3. **Roll Call**

Present: Commissioners Richard Frillman, Grace Duchaj, Scott McBride, Sharon Egger and Chairwoman Christine Klein

Absent: Commissioner Bill Rossetti and Ron Ross

Others Present: Mo Khan, Assistant Village Manager for Development

4. **A Motion to Approve the Meeting Minutes from April 13, 2026**

Motion: Commissioner McBride

Second: Commissioner Duchaj

Ayes: Commissioners Frillman, Duchaj, McBride and Egger

Nays: None

Abstain: None

Motion Approved

5. **Public Comments**

None

6. **New Business**

a. **Case# PZC-26-06 - Public Hearing**

Address: 279 N. State St. Hampshire, IL 60140

PIN: 01-22-301-003

Petitioner & Owner: Scott Dalby

Request: Rezoning (Map Amendment) from B-1, Central Business District to R-2, Single-Family Residence District

Action: Motion(s) to make a recommendation(s) regarding Case# PZC-26-06

Mr. Khan presented the request being made by the petitioner and provided a background of the subject property. Mr. Khan reviewed the Findings of Fact.

The Petitioner provided additional information such as the house was built in 1956 and has always been used as residential.

The following public comment were provided during the public hearing:

1. Mr. Rutkowski, owner of the property north of the subject property, asked what would happen to the zoning of his property if the rezoning of 279 N. State St. was approved. Mr. Khan stated that the zoning of Mr. Rutkowski's property would remain unchanged.

Chairwoman Klein requested a motion to recommend approval of the rezoning (map amendment) request.

Motion: Commissioner McBride

Second: Commissioner Egger

Ayes: Commissioners Frillman, Duchaj, McBride and Egger

Nayes: None

Abstain: None

Motion Approved

b. **Case# PZC-26-01 - Public Hearing/Meeting**

Address: No Address

PIN: 01-24-300-017; -009

Petitioner: Martam Construction, Inc.

Owner: Brier Hill Ventures, LLC

Request: The following zoning entitlement requests are being made:

1. **Rezoning (Map Amendment) upon Annexation from E-1, Estate District to M-2, General Industrial District**
2. **Special Use per Sec. 6-9-3-C of the Hampshire Zoning Ordinance to operate an outdoor concrete and asphalt milling and outdoor storage of materials**
3. **Final Plat of Subdivision**

Action: Motion(s) to make a recommendation(s) regarding Case# PZC-26-01

Mr. Khan presented the request being made by the petitioner and provided a background on the project and of the subject properties. Mr. Khan reviewed the proposed conditions of approval for the special use request. Mr. Khan stated that the plat has been reviewed by the Village Engineer and found to be in conformance with requirements.

Mr. Richmond, the Petitioner's Attorney, and Mr. Kutrovatz, Petitioner, provided additional information on the Petitioner's request.

The following public comment were provided during the public hearing:

1. Mr. Dalby, whose mother owns the property to the south, asked how tall the material storage would be and if it would be visible from his mother's property. The Petitioner stated that there is a lot between the subject property and Mr. Dalby's mother's property that is tree-lined and is not owned by either the subject property owner or petitioner that would be kept and provide screening.

Chairwoman Klein requested a motion to recommend approval of the following requests:

1. Request for Rezoning (Map Amendment) upon Annexation from E-1, Estate District to M-2, General Industrial District
 2. Request for Special Use per Sec. 6-9-3-C of the Hampshire Zoning Ordinance to operate an outdoor concrete and asphalt milling and outdoor storage of materials
 3. Request for Final Plat of Subdivision
- Pursuant to Village staff's recommended conditions of approval #1-3.

Motion: Commissioner Egger

Second: Commissioner McBride

Ayes: Commissioners Frillman, Duchaj, McBride and Egger

Nayes: None

Abstain: None

Motion Approved

7. Old Business

None.

8. Announcements

Mr. Khan stated that the legislation regarding the Accessory Dwelling Units (ADUs) has been assigned to the Rules Committee and because of this will bring back proposed text amendments for the Commission to consider.

9. Adjournment

Motion to Adjourn

Motion: Commissioner McBride

Second: Commissioner Egger

Aye: Commissioners Frillman, Duchaj, McBride and Egger

Nayes: None
Abstain: None

Motion Approved.

Adjourned at 7:25 P.M.

Submitted: July 13, 2026
Approved:



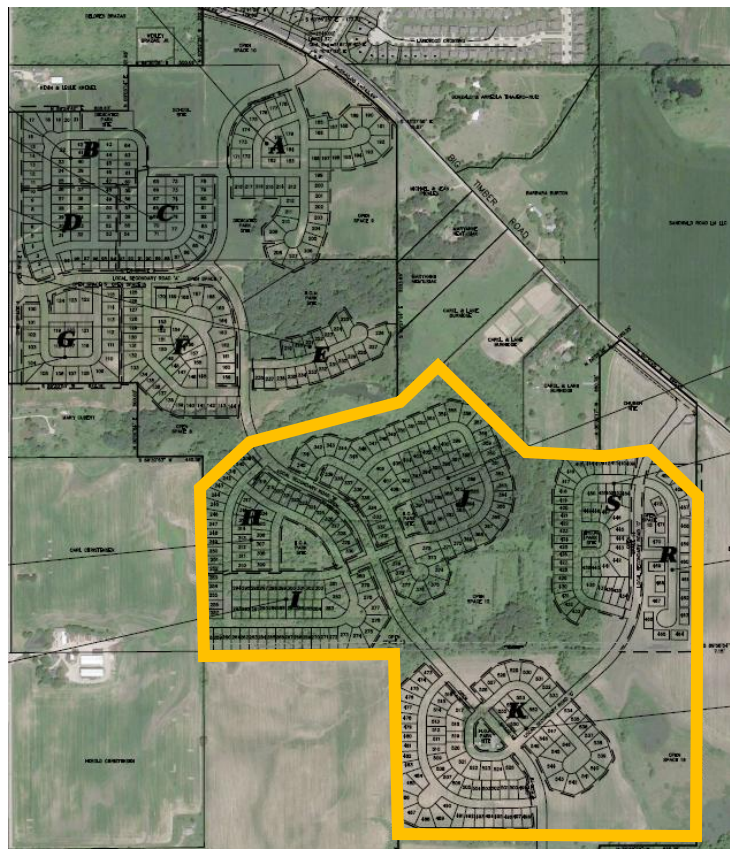
Village of Hampshire
234 S. State Street, Hampshire IL 60140
Phone: 847-683-2181 | www.hampshireil.org

AGENDA SUPPLEMENT

TO: Planning & Zoning Commission
FROM: Mo Khan, Assistant Village Manager for Development
FOR: Planning & Zoning Commission Meeting on July 27, 2026
RE: PZC-26-07 - Oakstead Neighborhoods H, I & J and K, R & S - Final Plat of Subdivision

PROPOSAL: Hampshire East, LLC dba Crown Community Development (Petitioner & Owner) is requesting the approval of the following:

1. Final Plat of Subdivision for Oakstead Neighborhood H
2. Final Plat of Subdivision for Oakstead Neighborhood I
3. Final Plat of Subdivision for Oakstead Neighborhood J
4. Final Plat of Subdivision for Oakstead Neighborhood K
5. Final Plat of Subdivision for Oakstead Neighborhood R
6. Final Plat of Subdivision for Oakstead Neighborhood S





Village of Hampshire
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BACKGROUND: The Oakstead Subdivision project dates back to 2004 when a preliminary plat was presented to the Village. In 2021, the preliminary plat was revised to its current version. When Crown is ready to develop a neighborhood, it submits a Final Plat of Subdivision for review and approval by the Village.

ANALYSIS: The Village engineer reviewed the proposed Plats of Subdivision and provided comments. The Village Engineer believes the remaining comments are minor and will not impact or change the lot location, density, number of lots, or lot sizes.

	Preliminary Plat		Final Plat		Difference
Neighborhood	# Homes	Min. Lot Size	# Homes	Min. Lot Size	
H	41	7,800 sq. ft.	41	7,800 sq. ft.	0
I	51	7,800 sq. ft.	48	7,800 sq. ft.	-3 Homes
J	78	9,100 sq. ft.	81	9,100 sq. ft.	+3 Homes
K	83	7,800 sq. ft.	83	7,930 sq. ft.	0
R	18*		18*	7,040 sq. ft.	
S	46	6,890 sq. ft.	46	6,890 sq. ft.	0
Total:	299#		299#		

* Preliminary Plat identified 54 units for Neighborhood R. The Final Plat of Subdivision does not identify the total number of units. There are 18 multi-family/townhome buildings proposed.

Total number does not include the number of multi-family/townhome buildings from Neighborhood R

REQUIRED FINDINGS OF FACT: There are no required findings of fact for a plat of resubdivision.

PUBLIC COMMENTS: Village staff has not received any public comments regarding this petition as of July 23, 2026

STAFF RECOMMENDED CONDITIONS OF APPROVAL: Village staff is recommending the following condition of approval:

1. Prior to signature by the Village and recording of the documents all engineering comments shall be addressed and final plats approved by the Village Engineer.

RECOMMENDED MOTIONS:

1. I move to recommend approval of PZC-26-07 for the following pursuant to Staff's Recommended Condition of Approval:
 - a. Final Plat of Subdivision for Oakstead Neighborhood H
 - b. Final Plat of Subdivision for Oakstead Neighborhood I
 - c. Final Plat of Subdivision for Oakstead Neighborhood J



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- d. Final Plat of Subdivision for Oakstead Neighborhood K
- e. Final Plat of Subdivision for Oakstead Neighborhood R
- f. Final Plat of Subdivision for Oakstead Neighborhood S

DOCUMENTS ATTACHED:

1. Land Use Application
2. Oakstead Preliminary Plat of Subdivision, dated March 12, 2021
3. Final Plat of Subdivision for Oakstead Neighborhood H, dated June 24, 2026
4. Final Plat of Subdivision for Oakstead Neighborhood I, dated June 24, 2026
5. Final Plat of Subdivision for Oakstead Neighborhood J, dated June 24, 2026
6. Final Plat of Subdivision for Oakstead Neighborhood K, dated June 24, 2026
7. Final Plat of Subdivision for Oakstead Neighborhood R, dated June 24, 2026
8. Final Plat of Subdivision for Oakstead Neighborhood S, dated June 25, 2026
9. Engineering Enterprises, Inc. (EEI) Oakstead Plats H, I, J Review Letter, dated July 21, 2026
10. Engineering Enterprises, Inc. (EEI) Oakstead Plats K, R, S Review Letter, dated July 21, 2026



Village of Hampshire
234 S. State Street, Hampshire, IL 60140
Phone: 847-683-2181 ▪ www.hampshireil.org

Land Use Application

Date: 6/25/26

The Undersigned respectfully petitions the Village of Hampshire to review and consider granting the following approval(s) on the land herein described.
(check all that apply)

- ☐ Variance*
- ☐ Special Use Permit*
- ☐ Rezoning from _____ District to _____ District (ex. M1 to M2)*
- ☐ Annexation*
- ☒ Subdivision
- ☐ Other Site Plan: _____

*requires a 15-30 day public notice period

APPLICANT INFORMATION

APPLICANT (print or type)

Name: HAMPSHIRE EAST LLC Email: DOLSEM@CROWN-CHICAGO.COM

Address: 2056 WESTINGHOUSE AVE, SUITE 280 Phone: (630) 267-0782
NAPERVILLE, IL 60563

CONTACT PERSON (if different from applicant)

Name: DAN OLSEN Email: S.A.A.

Address: S.A.A. Phone: S.A.A.

IS THE APPLICANT THE OWNER OF THE SUBJECT PROPERTY?

☒ YES ☐ NO

If the applicant is not the owner of the subject property, a written and signed statement from the owner authorizing the applicant to file must be attached to this application.

IS THE OWNER A TRUSTEE/BENEFICIARY OF A LAND TRUST?

☐ YES ☒ NO

If the owner of the subject property is a trustee of a land trust or beneficiaries of a land trust, a disclosure statement identifying each beneficiary of such land trust by name and address, and defining his/her interest therein, shall be attached hereto.

PROPERTY INFORMATION

Name of Development (if any): OAKSTAD: NEIGHBORHOODS H, I & J AND K, R & S

Address: SE QUADRANT OF RT 20 AND BIG TIMBER ROAD

Parcel Number(s): AS SHOWN ON FINAL PLATS OF SUBDIVISION

Total Area (acres): 187.74

Legal Description: must be attached to this application

Fire Protection District: HAMPSHIRE FIRE PROTECTION DISTRICT

School District: CUSD 300

Library District: ELLA JOHNSON

Park District: HAMPSHIRE TOWNSHIP PARK DISTRICT

Township: HAMPSHIRE

Current Zoning District: PUD

Current Use:

AGRICULTURE

Proposed Zoning/Variance/Use:

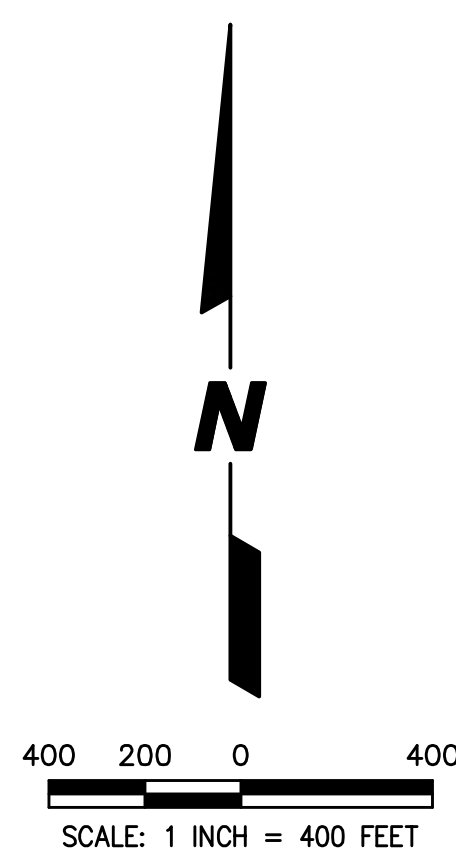
SINGLE FAMILY ATTACHED & DETACHED UNITS

Reason/Explanation for Zoning/Variance/Use:

SUBSTANTIALLY CONFORMS TO APPROVED PRELIMINARY
PLAT & PLAN

PRELIMINARY PLAT OF SUBDIVISION
FOR
OAKSTEAD

SHEET 1 OF 4



B
±8.494 ACRES
60' x 130' SFD
7,800 S.F.
30 HOMES

A
±15.810 ACRES
70' x 130' SFD
9,100 S.F.
48 HOMES

C
±8.834 ACRES
60' x 130' SFD
7,800 S.F.
35 HOMES

D
±8.049 ACRES
60' x 130' SFD
7,800 S.F.
34 HOMES

E
±5.768 ACRES
70' x 130' SFD
9,100 S.F.
20 HOMES

F
±13.533 ACRES
21 - 70' x 130' SFD
9,100 S.F.
25 - 60' x 130' SFD
7,800 S.F.
46 HOMES

G
±8.836 ACRES
50 DUPLEX HOMES

H
±11.101 ACRES
60' x 130' SFD
7,800 S.F.
41 HOMES

I
±14.581 ACRES
60' x 130' SFD
7,800 S.F.
51 HOMES

P
±11.082 ACRES
70' x 130' SFD
9,100 S.F.
32 HOMES

Q
±11.777 ACRES
TOWNHOMES
94 HOMES

J
±24.793 ACRES
70' x 130' SFD
9,100 S.F.
78 HOMES

S
±11.896 ACRES
53' x 130' SFD
6,890 S.F.
ACTIVE ADULT
46 HOMES

R
±10.448 ACRES
ACTIVE ADULT
RANCH TOWNHOMES
54 HOMES

K
±25.952 ACRES
39 - 70' x 130' SFD
9,100 S.F.
44 - 60' x 130' SFD
7,800 S.F.
83 HOMES

L
±20.608 ACRES
60' x 130' SFD
7,800 S.F.
78 HOMES

N
±25.963 ACRES
53' x 130' SFD
6,890 S.F.
ACTIVE ADULT
116 HOMES

M
±7.575 ACRES
60' x 130' SFD
7,800 S.F.
26 HOMES

O
±14.115 ACRES
60' x 130' SFD
7,800 S.F.
51 HOMES

SINGLE FAMILY RESIDENTIAL AREA SUMMARY

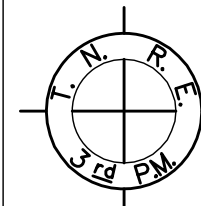
Neighborhood	# Homes	Planned Lot Size	Average Lot Size (Sq. Ft.)	Max Lot Size (Sq. Ft.)	Min Lot Size (Sq. Ft.)	Median Lot Size (Sq. Ft.)	Total Lot Area (Ac.)	Total Lot Area (Sq. Ft.)	Neighborhood Area (Ac.)
A	48	9,100	10,956	16,340	9,100	9,933	525,873	12,07	15,810
B	30	7,800	8,734	17,447	7,800	9,801	262,010	6.01	8,494
C	35	7,800	8,317	13,290	7,800	7,800	291,082	6.68	8,384
D	34	7,800	8,110	10,497	7,800	7,800	275,727	6.33	8,049
E	20	9,100	9,877	13,459	9,099	9,463	197,530	4.53	5,768
F	46	7,800	9,822	15,304	7,800	9,206	451,796	10.37	13,533
G	50	9,700	11,948	18,161	9,715	10,437	296,204	6.80	8,836
H	41	7,800	8,807	12,008	7,800	8,563	361,103	8.29	11,101
I	51	7,800	9,426	16,191	7,800	9,151	480,711	11.04	14,581
J	78	9,100	10,464	15,118	9,100	9,889	816,157	18.74	24,793
K	83	7,800 & 9,100	10,359	15,443	7,800	9,750	959,830	19.74	25,952
L	78	7,800	8,670	14,227	7,329	8,190	676,298	15.53	20,608
M	26	7,800	8,602	12,883	7,800	8,321	223,662	5.13	7,575
N	116	6,890	7,614	12,191	6,630	7,155	883,223	20.28	25,963
O	51	7,800	9,627	19,562	7,800	9,542	490,987	11.27	14,115
P	32	9,100	12,162	25,358	9,100	9,884	389,177	8.93	11,082
S	46	6,890	8,834	16,831	6,890	8,060	406,351	9.33	11,896
Total Single Family Homes	865		9,563	25,358	6,630	8,563	7,953,330	182.58	247,622

MULTI FAMILY RESIDENTIAL AREA SUMMARY

Neighborhood	# Homes	Neighborhood Area (Ac.)
Q	94	11.777
R	54	10.448
Total Multi Family Homes	148	22.225

LINE LEGEND

- SUBDIVISION BOUNDARY LINE (Heavy Solid Line)
- LOT LINE/PROPERTY LINE (Solid Line)
- EXISTING CORPORATE LIMITS OF THE VILLAGE OF HAMPSHIRE (Heavy Dashed Line)
- BUILDING LINE (Long Dashed Lines)
- EASEMENT LINE/LIMITS OF EASEMENT (Short Dashed Lines)
- CENTERLINE (Single Dashed Lines)
- QUARTER SECTION LINE (Double Dashed Lines)
- SECTION LINE (Triple Dashed Lines)
- APPROX. SCALED LIMITS OF ZONE A AS SHOWN ON KANE COUNTY FIRM.



OVERALL SITE DATA

LAND USE	UNITS	ACRES	PERCENT
BIG TIMBER ROAD 1/2 R.O.W.	-	1.3	0.23%
ROUTE 20 1/2 R.O.W.	-	3.2	0.57%
LOCAL SECONDARY ROADS/STREETS 66' R.O.W.	-	25.2	4.50%
MINOR ROADS/STREETS 60' R.O.W.	-	59.9	10.71%
OPEN SPACE	-	263.6	47.12%
(PARKS, PIPELINE EASEMENT, STVM AREAS, FLOODPLAIN, PRESERVED AREAS)	-	-	-
LIFT STATION	-	0.5	0.09%
SCHOOL SITE	-	11.0	1.97%
CHURCH SITE	-	6.3	1.13%
TRADITIONAL HOUSING:			
9,100 S.F. LOTS (70'x130')	238	54.9	9.81%
7,800 S.F. LOTS (60'x130')	415	91.1	16.29%
DUPLEXES	50	6.8	1.22%
TOWNHOMES	94	3.7	0.66%
TOTAL TRADITIONAL DWELLING UNITS	797		
ACTIVE ADULT HOUSING:			
6,890 S.F. LOTS (53'x130')	162	29.6	5.29%
RANCH TOWNHOMES	54	2.9	0.52%
TOTAL ACTIVE ADULT DWELLING UNITS	216		
TOTAL	1013	559.4	100.0%

PREPARED FOR:

HAMPSHIRE EAST, LLC.
1751A W. DIEHL ROAD
NAPERVILLE, IL 60563
(630) 851-5490

PREPARED BY:

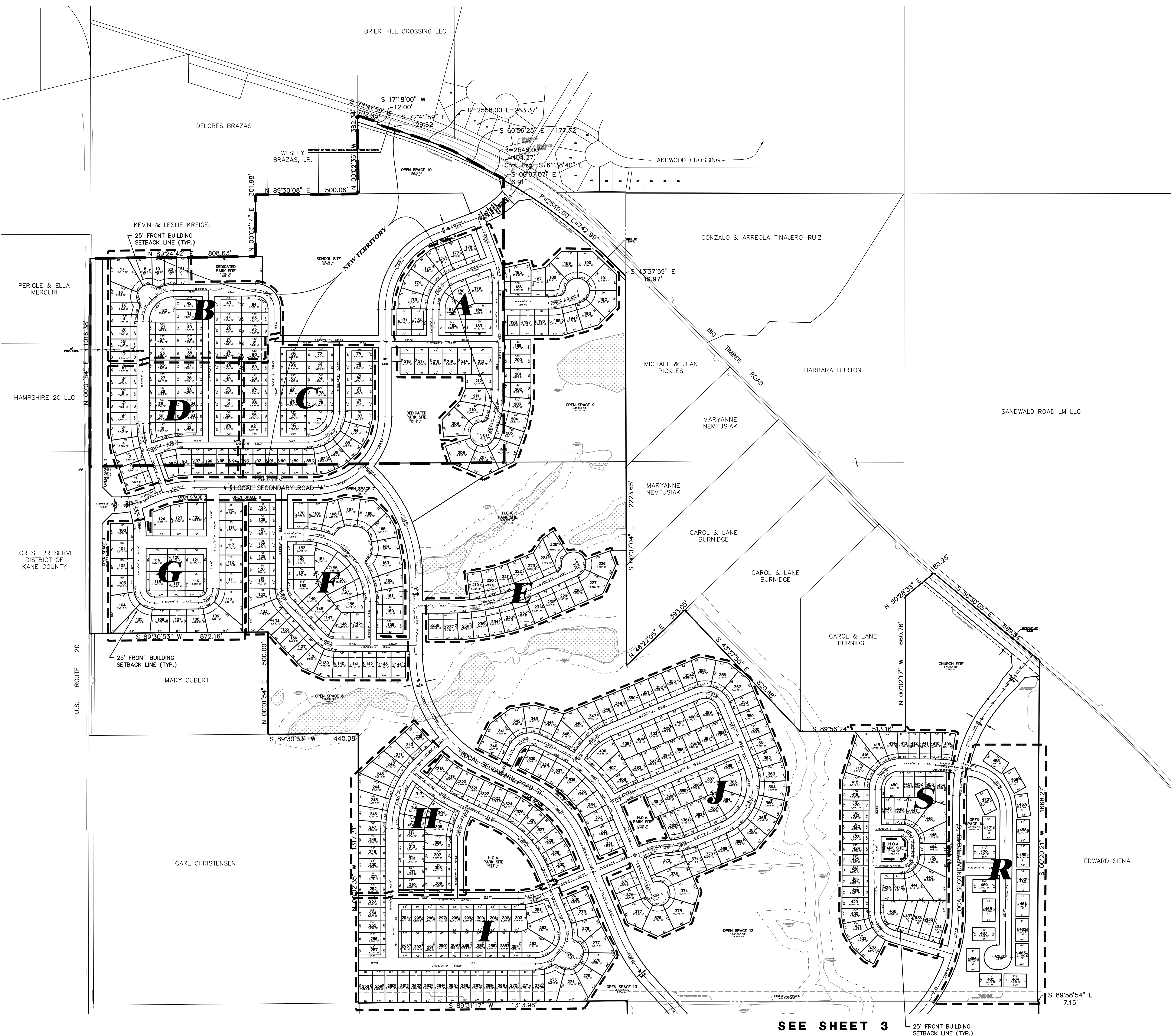
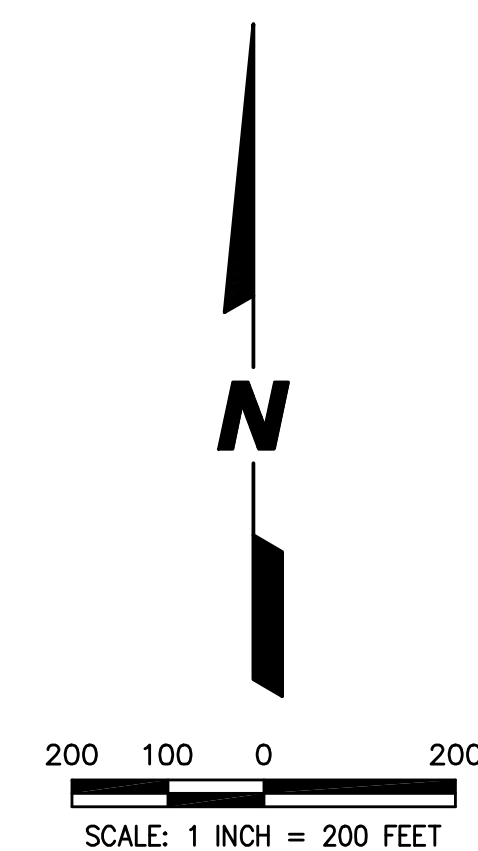
CEMCON, Ltd.

Consulting Engineers, Land Surveyors & Planners
2280 White Oak Circle, Suite 100
Aurora, Illinois 60502-9675
PH: 630.862.2100 FAX: 630.862.2199
E-Mail: cadd@cemcon.com Website: www.cemcon.com

DISC NO.: 456267 FILE NAME: PREPLAT
DRAWN BY: DDD FLD. BK. / PG. NO.: BK./PG.
COMPLETION DATE: 01-15-2021 JOB NO.: 456.267
XREF: LOT/CALC, TOPO 2020 PROJECT MANAGER: DRG
REVISED: 03/12/2021/ODD
REVISED: 03/15/2021/ODD UPDATE UNIT COUNT

PRELIMINARY PLAT OF SUBDIVISION
FOR
OAKSTEAD

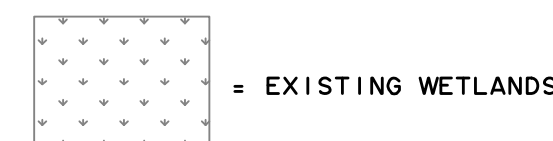
SHEET 2 OF 4



SEE SHEET 3

NOTES:

1. PROPOSED R.O.W.'S SHALL BE 60' WIDE UNLESS OTHERWISE NOTED.
2. LOT NUMBERING FOR PARKS AND OPEN SPACES TO BE DETERMINED AT TIME OF FINAL PLAT.

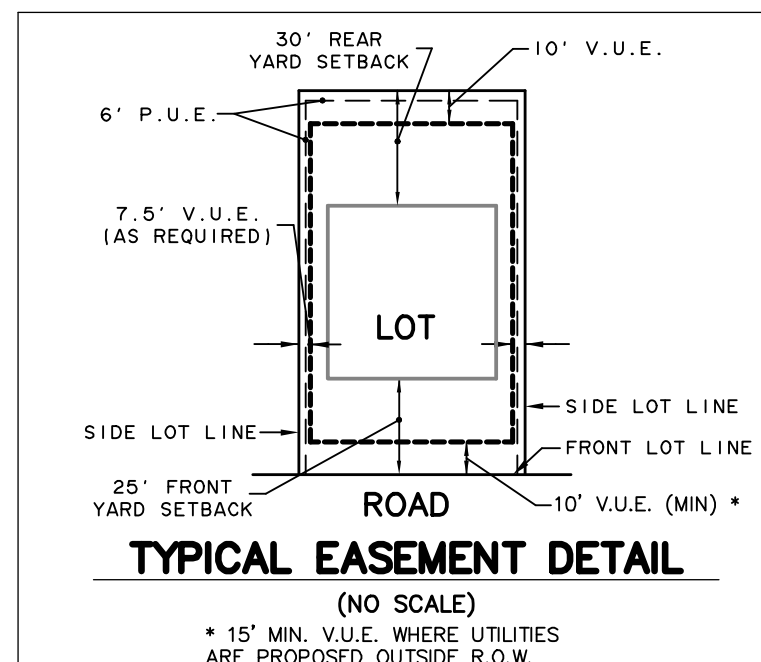
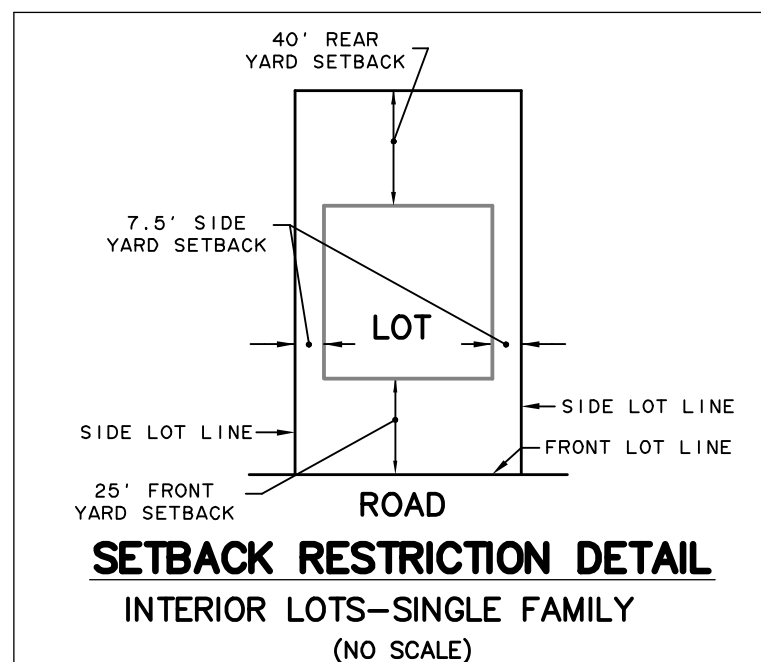
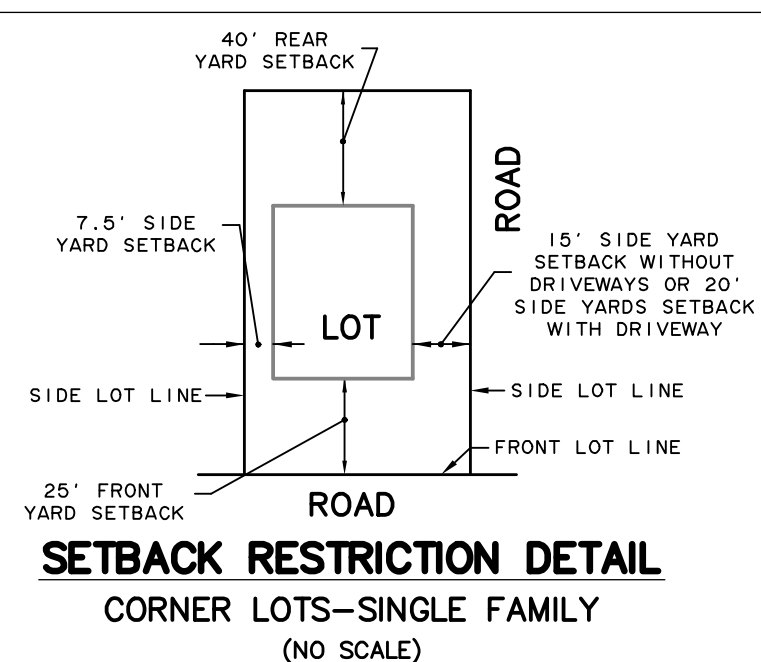


EXISTING WETLANDS

FLOODPLAIN LIMITS

WETLAND BUFFER

LIMITS OF NEW TERRITORY TO BE ANNEXED TO THE VILLAGE OF HAMPSHIRE



LOT DIMENSIONS & AREAS ARE APPROXIMATIONS & WILL VARY AT TIME OF FINAL PLATTING.

PREPARED FOR:

HAMPSHIRE EAST, LLC.
1751A W. DIEHL ROAD
NAPERVILLE, IL 60563
(630) 851-5490

PREPARED BY:



CEMCON, Ltd.
Consulting Engineers, Land Surveyors & Planners

2280 White Oak Circle, Suite 100
Aurora, Illinois 60502-9675
PH: 630.862.2100 FAX: 630.862.2199
E-Mail: cadd@cemcon.com Website: www.cemcon.com

DISC NO.: 456267 FILE NAME: PREPLAT
DRAWN BY: DDD FLD. BK. / PG. NO.: BK./PG.
COMPLETION DATE: 01-15-2021 JOB NO.: 456.267
XREF: LOT/CALC, TOPO 2020 PROJECT MANAGER: DRG
REVISED: 03/12/2021/ODD

PRELIMINARY PLAT OF SUBDIVISION
FOR
OAKSTEAD

SHEET 3 OF 4



200 100 0 200
SCALE: 1 INCH = 200 FEET

SEE SHEET 2

FOREST PRESERVE
DISTRICT OF
KANE COUNTY

HEROLD CHRISTENSEN

MESTEK II FAMILY LP

EDWARD SIENA

U.S. ROUTE 20

25' FRONT BUILDING SETBACK LINE (TYP.)

25' FRONT BUILDING
SETBACK LINE (TYP.)

S 00°02'28" E 1318.11'

N 89°58'38" W 655.35'

25' FRONT BUILDING
SETBACK LINE (TYP.)

SEE SHEET 4

ALLENS
CORNERS
HAMPSHIRE
LLC

ZUBINA MIRZA

ZUBINA MIRZA

STEVEN LINK

TDJC HOLDINGS LLC

HELEN SCHRAM

ROBERT & EVELYN CONRO

EXISTING WETLANDS

FLOODPLAIN LIMITS
WETLAND BUFFER

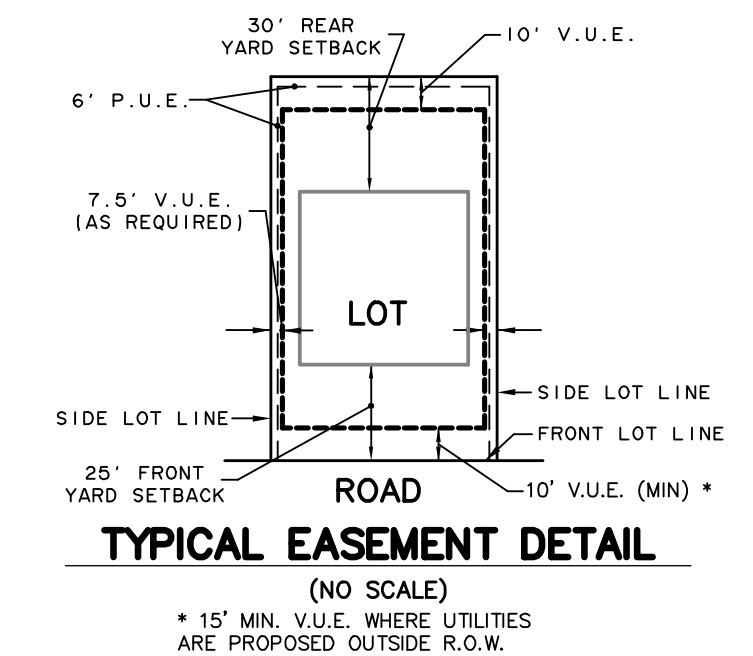
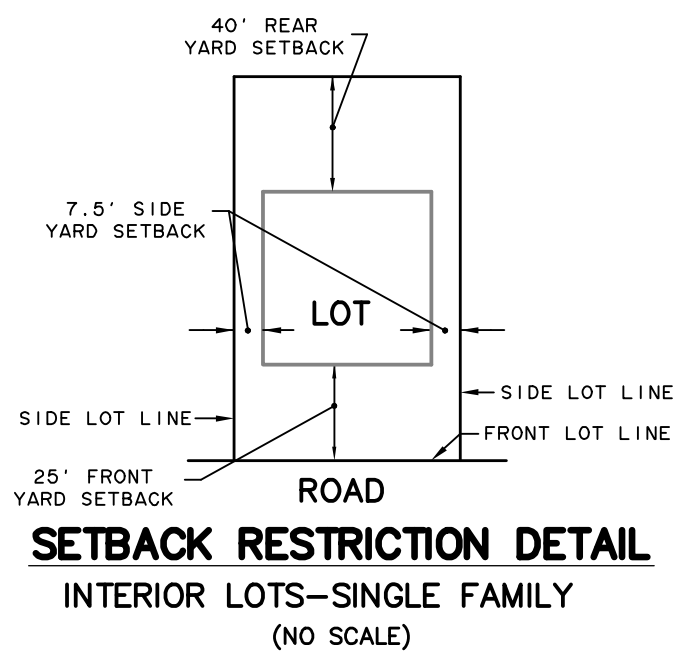
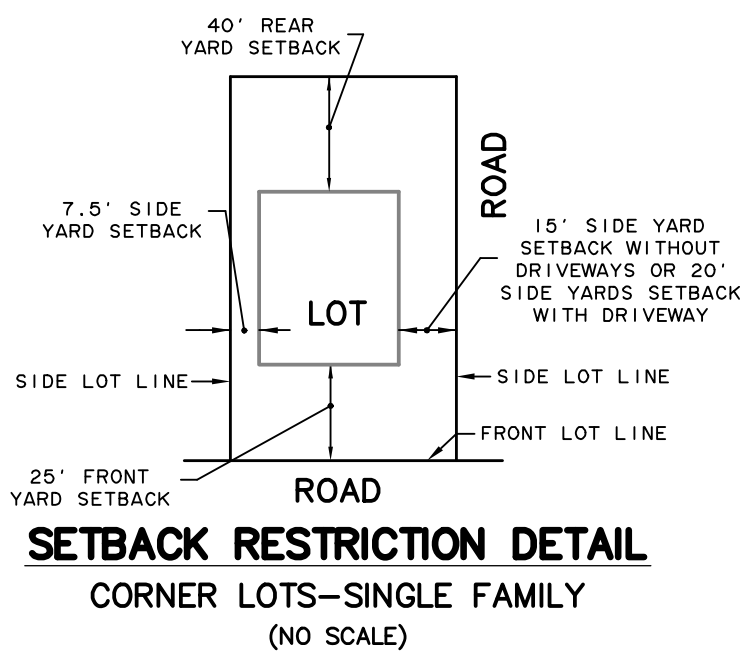
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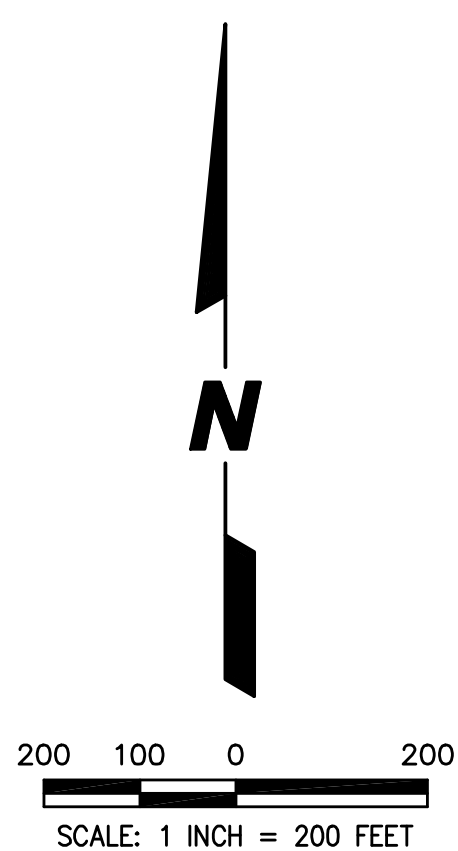
1. PROPOSED R.O.W.'S SHALL BE 60' WIDE UNLESS OTHERWISE NOTED.
2. LOT NUMBERING FOR PARKS AND OPEN SPACES TO BE DETERMINED AT TIME OF FINAL PLAT.

LOT DIMENSIONS & AREAS ARE
APPROXIMATIONS & WILL VARY
AT TIME OF FINAL PLATTING.

PREPARED FOR:
HAMPSHIRE EAST, LLC.
1751A W. DIEHL ROAD
NAPERVILLE, IL 60563
(630) 851-5490

PREPARED BY:
CEMCON, Ltd.
Consulting Engineers, Land Surveyors & Planners
2280 White Oak Circle, Suite 100
Aurora, Illinois 60502-9675
PH: 630.862.2100 FAX: 630.862.2199
E-Mail: cadd@cemcon.com Website: www.cemcon.com
DISC NO.: 456267 FILE NAME: PREPLAT
DRAWN BY: DDD FLD. BK. / PG. NO.: BK./PG.
COMPLETION DATE: 01-15-2021 JOB NO.: 456.267
XREF: LOTCALC, TOPO 2020 PROJECT MANAGER: DRG
REVISED: 03/12/2021/000





SETBACKS	
FRONT TO R.O.W.	25'
SIDE TO R.O.W.	15'
SIDE TO ADJACENT LOT LINE	20'
REAR TO ADJACENT LOT LINE	30'

BUILDING SEPARATIONS	
FRONT TO FRONT	50'
FRONT TO SIDE	35'
SIDE TO SIDE	20'
SIDE TO REAR	40'
REAR TO REAR	50'
GARAGE TO GARAGE	60'

ALLOWABLE ENCROACHMENTS

1. FRONT PORCHES AND COVERED STOOPS MAY PROTRUDE UP TO 5' INTO THE MINIMUM SEPARATION BETWEEN BUILDINGS.
2. PATIOS, DECKS, BALCONIES AND THREE-SEASON ROOMS MAY PROTRUDE UP TO 10' INTO THE MINIMUM SEPARATION BETWEEN BUILDINGS.
3. SIDE ENTRY WAYS MAY PROTRUDE UP TO 5' INTO THE MINIMUM SEPARATION BETWEEN BUILDINGS.
4. FRONT ENTRY STAIRS MAY PROTRUDE UP TO 5' INTO THE MINIMUM SEPARATION BETWEEN BUILDINGS.
5. AIR CONDITIONING UNITS, BAY WINDOWS, CHIMNEYS, FIREPLACES, EAVES AND OPEN PORCHES MAY PROTRUDE UP TO 26" IN THE REQUIRED SIDE YARD.

BULK STANDARDS - 2-FAMILY RESIDENCES - 85' WIDE LOTS		
PLANNING ELEMENT	PROPOSED	NOTES
MINIMUM LOT SIZE	9,775 S.F.	
MINIMUM LOT WIDTH	85'	100' Minimum per Hampshire R-3 Code
MINIMUM LOT DEPTH	115'	
MAXIMUM IMPERVIOUS SURFACE COVERAGE	0.56	Assumes 4,260 s.f. building, 200 s.f. patio, 81 s.f. service walk, 850 s.f. driveway
MAXIMUM BUILDING COVERAGE	44%	Assumes 4,260 s.f. building foundation
MAXIMUM FLOOR AREA RATIO	0.5	Maximum per Hampshire Code
MINIMUM GROUND FLOOR AREA	900 S.F.	Minimum per Hampshire code for two story dwelling
MAXIMUM BUILDING HEIGHT	30' or 2 1/2 STORIES	Minimum per Hampshire code for one story dwelling without cellar

SETBACKS		
FRONT	25'	Minimum per Hampshire code
SIDE CORNER	15'	12' Minimum per Hampshire R-3 code
SIDE - INTERIOR	7'	10' Minimum per Hampshire R-3 Code
REAR	30'	40' Minimum per Hampshire Code

ALLOWABLE ENCROACHMENTS

1. FRONT PORCHES AND COVERED STOOPS MAY PROTRUDE UP TO 5' INTO THE MINIMUM SEPARATION BETWEEN BUILDINGS.
2. PATIOS, DECKS, AND THREE-SEASON ROOMS MAY PROTRUDE UP TO 10' INTO THE MINIMUM SEPARATION BETWEEN BUILDINGS.
3. SIDE ENTRY WAYS MAY PROTRUDE UP TO 5' INTO THE MINIMUM SEPARATION BETWEEN BUILDINGS.
4. FRONT ENTRY STAIRS MAY PROTRUDE UP TO 10' INTO THE MINIMUM SEPARATION BETWEEN BUILDINGS.
5. AIR CONDITIONING UNITS, BAY WINDOWS, CHIMNEYS, FIREPLACES, EAVES AND OPEN PORCHES MAY PROTRUDE UP TO 26" IN THE REQUIRED SIDE YARD.

BULK STANDARDS - DETACHED SINGLE FAMILY - 63' WIDE LOTS			
PLANNING ELEMENT	PROPOSED	NOTES	
MINIMUM LOT SIZE	6,890 S.F.	12,000 S.F.	Minimum per Hampshire R-2 Code
MINIMUM LOT WIDTH	53'	100'	Minimum per Hampshire R-2 Code
MINIMUM LOT DEPTH	130'		
MAXIMUM IMPERVIOUS SURFACE COVERAGE	54%	Assumes 3,075 S.F. building, 100 S.F. patio, 56 S.F. service walk, 425 S.F. driveway	
MAXIMUM BUILDING COVERAGE	45%	Assumes 3,075 s.f building foundation	
MAXIMUM FLOOR AREA RATIO	0.5	Maximum per Hampshire Code	
MINIMUM GROUND FLOOR AREA	1,200 S.F.	Minimum per Hampshire code for one story dwelling without cellar	
MAXIMUM BUILDING HEIGHT	30' or 2 1/2 STORIES	Maximum per Hampshire Code	

SETBACKS		
FRONT	25'	30' Minimum per Hampshire R-2 Code
SIDE CORNER	15'	Minimum per Hampshire code
SIDE - INTERIOR	6'	10' Minimum per Hampshire R-2 code
REAR	30'	40' Minimum per R-2 Hampshire Code

ALLOWABLE ENCROACHMENTS

1. PORCHES AND COVERED STOOPS SHALL BE ALLOWED TO PROTRUDE 5' INTO THE REQUIRED FRONT YARD.
2. PATIOS, DECKS, AND THREE-SEASON ROOMS SHALL BE ALLOWED WITHIN THE REQUIRED REAR YARD SETBACK UP TO 10' OF THE PROPERTY LINE.
3. AIR CONDITIONING UNITS, BAY WINDOWS, CHIMNEYS, FIREPLACES, EAVES AND OPEN PORCHES MAY PROTRUDE UP TO 26" IN THE REQUIRED SIDE YARD.

BULK STANDARDS - DETACHED SINGLE FAMILY - 7'0" WIDE LOTS			
PLANNING ELEMENT	PROPOSED	Notes	
MINIMUM LOT SIZE	9100 S.F.	12,000' Minimum per Hampshire R-2 Code	
MINIMUM LOT WIDTH	7'0"	100' Minimum per Hampshire R-2 Code	
MINIMUM LOT DEPTH	130'		
MAXIMUM IMPERVIOUS SURFACE COVERAGE	50%	Assumes 3,750 s.f building, 100 s.f. patio, 57 s.f. fence walk, 586 s.f. driveway	
MAXIMUM BUILDING COVERAGE	42%	Assumes 3,750 s.f building foundation	
MAXIMUM FLOOR AREA RATIO	0.5	Maximum per Hampshire Code	
MINIMUM GROUND FLOOR AREA	900 S.F.	Minimum per Hampshire code for two story dwelling	
MAXIMUM BUILDING HEIGHT	30' or 2 1/2 STORIES	Maximum per Hampshire Code	

SETBACKS		
FRONT	25'	30' Minimum per Hampshire R-2 Code
SIDE CORNER	15'	Minimum per Hampshire code
SIDE - INTERIOR	7.5'	10' Minimum per R-2 Hampshire Code
REAR	30'	40' Minimum per R-2 Hampshire Code

ALLOWABLE ENCROACHMENTS

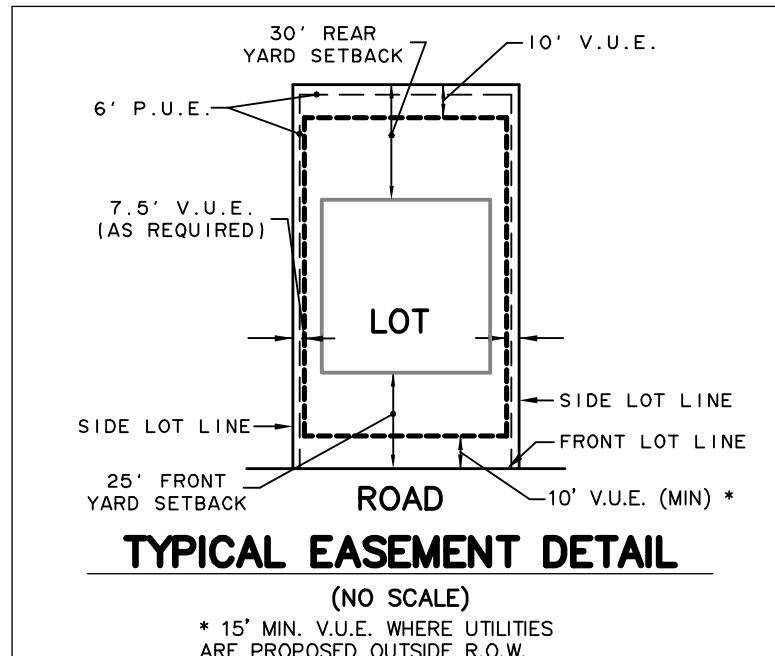
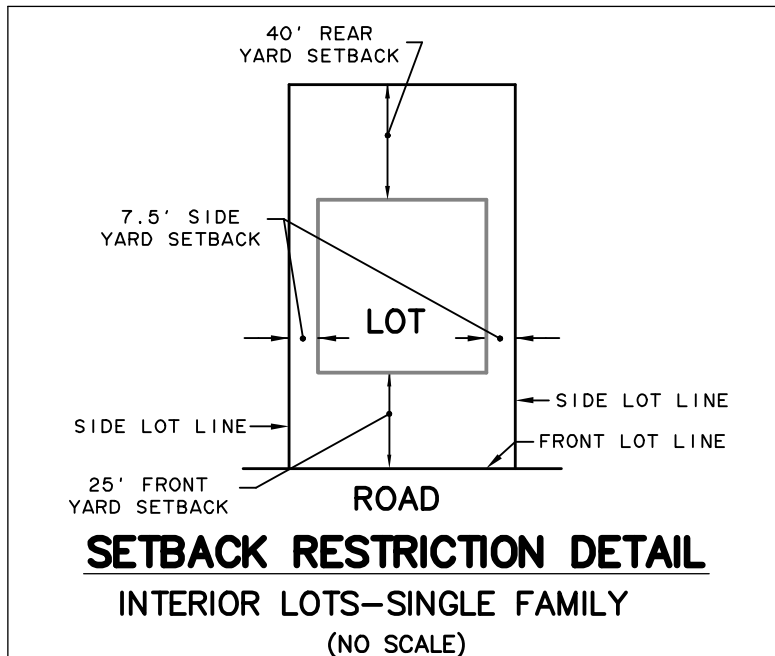
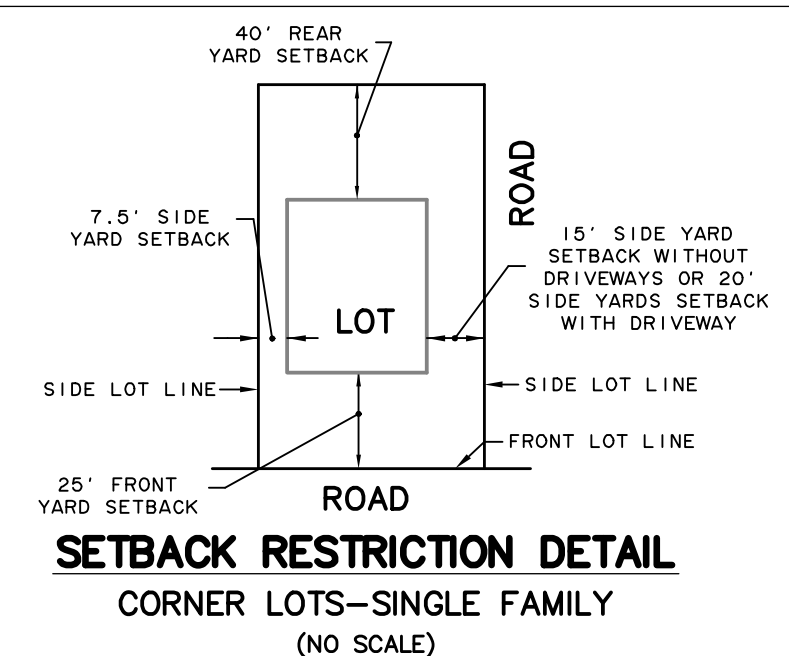
1. PORCHES AND COVERED STOOPS SHALL BE ALLOWED TO PROTRUDE 5' INTO THE REQUIRED FRONT YARD
2. PATIOS, DECKS, AND THREE-SEASON ROOMS SHALL BE ALLOWED WITHIN THE REQUIRED REAR YARD SETBACK UP TO 10' OF THE PROPERTY LINE.
3. AIR CONDITIONING UNITS, BAY WINDOWS, CHIMNEYS, FIREPLACES, EAVES AND OPEN PORCHES MAY PROTRUDE UP TO 26" IN THE REQUIRED SIDE YARD

BULK STANDARDS - DETACHED SINGLE FAMILY - 60' WIDE LOTS		
PLANNING ELEMENT	PROPOSED	Notes
MINIMUM LOT SIZE	7800 S.F.	12'00" Minimum per Hampshire R-2 Code
MINIMUM LOT WIDTH	60'	100' Minimum per Hampshire R-2 Code
MINIMUM LOT DEPTH	130'	
MAXIMUM IMPERVIOUS SURFACE COVERAGE	0.46	Assumes 3,000 s.f building, 100 s.f. patio, 54 s.f service walk, 425 s.f driveway
MAXIMUM BUILDING COVERAGE	40%	Assumes 3,000 s.f building foundation
MAXIMUM FLOOR AREA RATIO	0.5	Maximum per Hampshire Code
MINIMUM GROUND FLOOR AREA	900 S.F.	Minimum per Hampshire code for two story dwelling
MAXIMUM BUILDING HEIGHT	30' or 2 1/2 STOREYS	Maximum per Hampshire Code

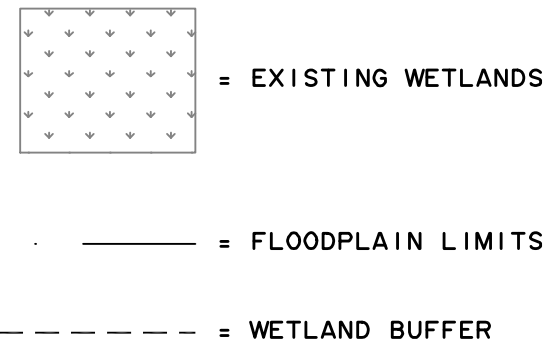
SETBACKS		
FRONT	25'	30' Minimum per Hampshire R-2 Code
SIDE CORNER	15'	Minimum per Hampshire code
SIDE - INERIOR	7.5'	10' Minimum per Hampshire R-2 Code
REAR	30'	40' Minimum per Hampshire R-2 Code

ALLOWABLE ENCROACHMENTS

1. PORCHES AND COVERED STOOPS SHALL BE ALLOWED TO PROTRUDE 5' INTO THE REQUIRED FRONT YARD
2. PATIOS, DECKS, AND THREE-SEASON ROOMS SHALL BE ALLOWED WITHIN THE REQUIRED REAR YARD SETBACK UP TO 10' OF THE PROPERTY LINE.
3. AIR CONDITIONING UNITS, BAY WINDOWS, CHIMNEYS, FIREPLACES, EAVES AND OPEN PORCHES MAY PROTRUDE UP TO 26" IN THE REQUIRED SIDE YARD

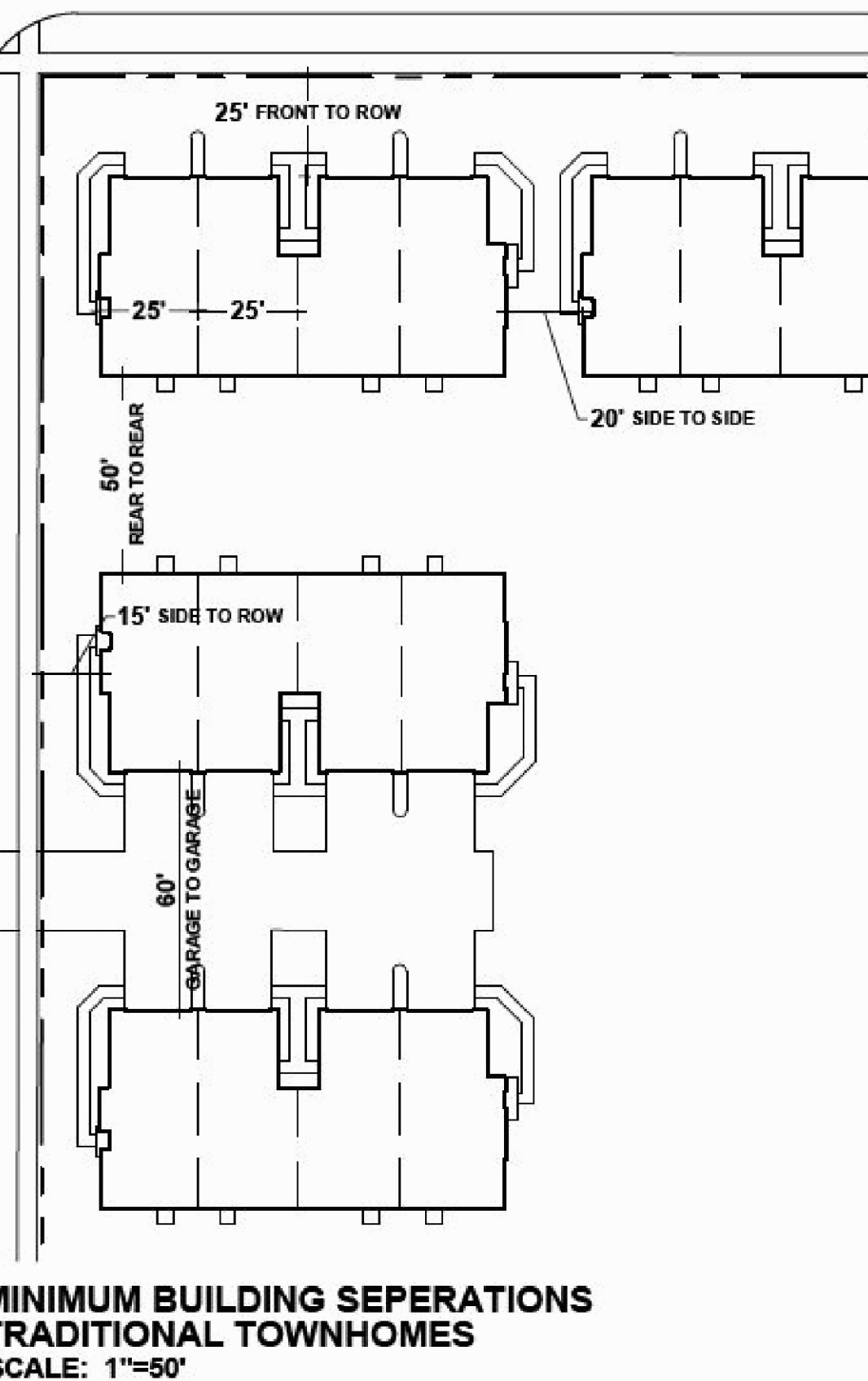


LOT DIMENSIONS & AREAS ARE APPROXIMATIONS & WILL VARY AT TIME OF FINAL PLATTING.



MINIMUM BUILDING SEPERATIONS TRADITIONAL TOWNHOMES

FRONT TO R.O.W.	25'
FRONT TO FRONT	50'
FRONT TO SIDE	35'
SIDE TO R.O.W.	15'
SIDE TO SIDE	20'
SIDE TO REAR	40'
REAR TO REAR	50'
GARAGE TO GARAGE	60'



MINIMUM BUILDING SEPERATIONS
TRADITIONAL TOWNHOMES
SCALE: 1"=50'

PREPARED FOR:

HAMPSHIRE EAST, LLC.
1751A W. DIEHL ROAD
NAPERVILLE, IL 60563
(630) 851-5490

PREPARED BY:

CEMCON, Ltd

Consulting Engineers, Land Surveyors & Planners
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Aurora, Illinois 60502-9675
PH: 630.862.2100 FAX: 630.862.2199
E-Mail: cadd@cemcon.com Website: www.cemcon.com

DISC NO.: 456267 FILE NAME: PREPLAT
DRAWN BY: DDD FLD. BK. / PG. NO.: BK./PG.
COMPLETION DATE: 01-15-2021 JOB NO.: 456.267
XREF: LOTCALC, TOPO 2020 PROJECT MANAGER: DRG
REVISED: 03/12/2021/DDD

FINAL PLAT OF SUBDIVISION
OF
OAKSTEAD SUBDIVISION
NEIGHBORHOOD H

PART OF THE SOUTHEAST QUARTER OF SECTION 13, TOWNSHIP 42 NORTH, RANGE 6 EAST
OF THE THIRD PRINCIPAL MERIDIAN, IN KANE COUNTY, ILLINOIS.

THIS PLAT WAS SUBMITTED TO THE COUNTY
RECORDER FOR THE PURPOSES OF RECORDING BY:

(PRINT NAME)

(ADDRESS)

(CITY/TOWN) (STATE) (ZIP CODE)

VILLAGE OF HAMPSHIRE

RESOLUTION NO. 25-_____

RESOLUTION APPROVING A FINAL PLAT OF
SUBDIVISION FOR OAKSTEAD SUBDIVISION NEIGHBORHOOD H

TOTAL AREA OF SUBDIVISION

19.217 ACRES

(MORE OR LESS)

PARCEL INDEX NUMBERS

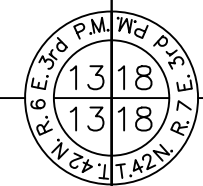
PART OF 01-13-400-008
PART OF 01-13-400-008
PART OF 01-13-400-009
HAMPSHIRE, ILLINOIS

SHEET 1 OF 3



100 50 0 100
SCALE: 1 INCH = 100 FEET

FIP 3/4"
PER MON. REC.
2002K037384



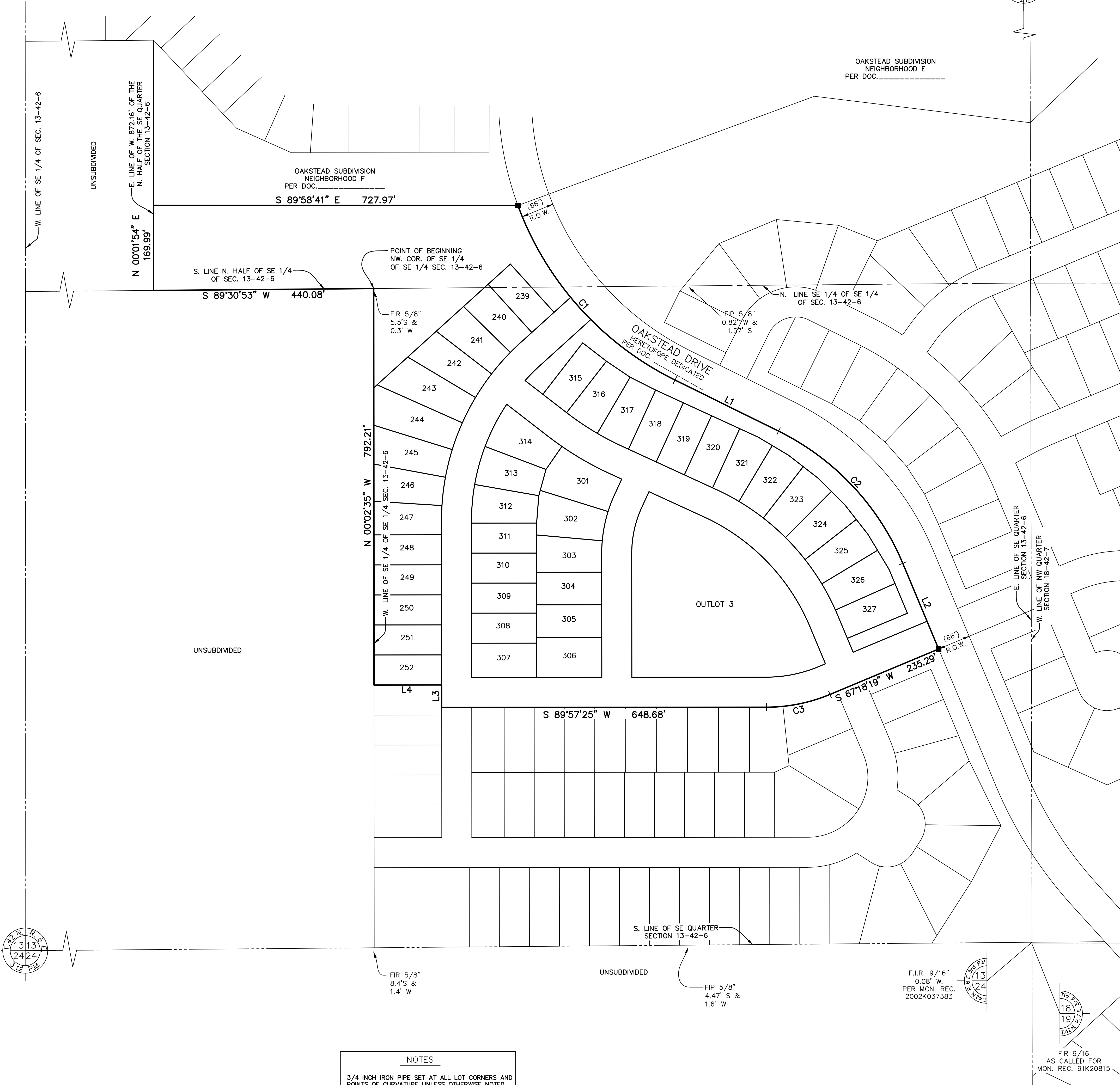
OAKSTEAD SUBDIVISION
NEIGHBORHOOD E
PER DOC.

**SITE
LOCATION**

VICINITY MAP

LINE TABLE		
LINE	BEARING	LENGTH
L1	S 63°43'32" E	230.83'
L2	S 22°41'41" E	185.59'
L3	N 00°02'35" W	45.00'
L4	S 89°57'25" W	135.00'

CURVE TABLE				
CURVE	LENGTH	RADIUS	CHORD BEARING	CHORD LENGTH
C1	480.59'	633.00'	S 41°58'32" E	469.13'
C2	370.24'	517.00'	S 43°12'36" E	362.38'
C3	130.46'	330.00'	S 78°37'52" W	129.62'



NOTES

3/4 INCH IRON PIPE SET AT ALL LOT CORNERS AND
POINTS OF CURVATURE UNLESS OTHERWISE NOTED.

ALL MEASUREMENTS ARE SHOWN IN FEET AND
DECIMAL PARTS THEREOF.

DIMENSIONS SHOWN ALONG CURVES ARE ARC
DISTANCES.

DIMENSIONS ENCLOSED WITH () ARE RECORD
DATA. ALL OTHER DIMENSIONS ARE MEASURED.

ALL EASEMENTS ARE HEREBY GRANTED UNLESS
OTHERWISE NOTED.

V.U.E. - INDICATES VILLAGE UTILITY EASEMENT
HEREBY GRANTED. SEE PROVISIONS FOR
DETAILS.

D.E. - INDICATES DRAINAGE EASEMENT HEREBY
GRANTED. SEE PROVISIONS FOR DETAILS.

P.U.E. - INDICATES PUBLIC UTILITY EASEMENT
HEREBY GRANTED. SEE PROVISIONS FOR
DETAILS.

B.L. - BUILDING SETBACK LINE

THE BEARINGS SHOWN ARE BASED UPON THE
NORTH LINE OF THE SUBJECT SITE BEING
S 89°58'41" E (ASSUMED).

GAP IN LOT NUMBERING DUE TO THE PREDEFINED
LOT NUMBERING WITHIN THE OAKSTEAD
DEVELOPMENT.

F.I.P. = FOUND IRON PIPE (ø AS SHOWN)
F.I.R. = FOUND IRON ROD (ø AS SHOWN)

ALL OUTLOTS TO BE OWNED AND MAINTAINED BY
THE HOMEOWNERS ASSOCIATION.

LEGEND

- SUBDIVISION BOUNDARY LINE
(Heavy Solid Line)
- LOT LINE/PROPERTY LINE
(Solid Line)
- ADJACENT LOT LINE/PROPERTY LINE
(Light Solid Line)
- BUILDING LINE
(Long Dashed Lines)
- EASEMENT LINE/LIMITS OF EASEMENT
(Short Dashed Lines)
- CENTERLINE
(Single Dashed Lines)
- QUARTER SECTION LINE
(Double Dashed Lines)
- SECTION LINE
(Triple Dashed Lines)
- - SET CONCRETE MONUMENT



F.I.R. 9/16"
0.08' W.
PER MON. REC.
2002K037383



FIP 9/16"
AS CALLED FOR
MON. REC. 91K20815

PREPARED FOR:

HAMPSHIRE EAST, LLC
1751 A. WEST DIEHL ROAD
NAPERVILLE, IL 60563
(630) 851-5490

PREPARED BY:



CEMCON, Ltd.

Consulting Engineers, Land Surveyors & Planners
2280 White Oak Circle, Suite 100 Aurora, Illinois
60502-9675 PH: 630.862.2100 FAX: 630.862.2199
E-Mail: info@cemcon.com Website: www.cemcon.com

DISC NO.: 456279 FILE NAME: SUBPLAT-H_C3D
DRAWN BY: AJB FLD. BK. / PG. NO.: N/A
COMPLETION DATE: 04-20-26 JOB NO.: 456.279
PROJECT REFERENCE: 456.209 & 456.267
CHECKED BY: JRP 03-16-26
REVISED 06-24-26\AJB PER VILLAGE COMMENTS DATED 06-09-26
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LOT AREA SUMMARY TABLE			
LOT NUMBER	SQ. FT.	LOT NUMBER	SQ. FT.
239	7,800	309	7,800
240	8,116	310	7,800
241	8,759	311	7,800
242	9,740	312	8,651
243	11,512	313	8,714
244	12,008	314	10,107
245	10,193	315	7,800
246	9,161	316	8,563
247	8,485	317	8,280
248	8,100	318	7,911
249	8,100	319	8,060
250	8,100	320	8,060
251	8,100	321	8,639
252	8,100	322	8,733
301	11,669	323	8,733
302	10,179	324	8,733
303	8,940	325	8,733
304	8,450	326	8,751
305	8,450	327	8,181
306	10,400	OUTLOT 1	149,721
307	8,892	OUTLOT 2	40,823
308	7,800	OUTLOT 3	100,634

FINAL PLAT OF SUBDIVISION
OF
OAKSTEAD SUBDIVISION
NEIGHBORHOOD H

PART OF THE SOUTHEAST QUARTER OF SECTION 13, TOWNSHIP 42 NORTH, RANGE 6 EAST
OF THE THIRD PRINCIPAL MERIDIAN, IN KANE COUNTY, ILLINOIS.

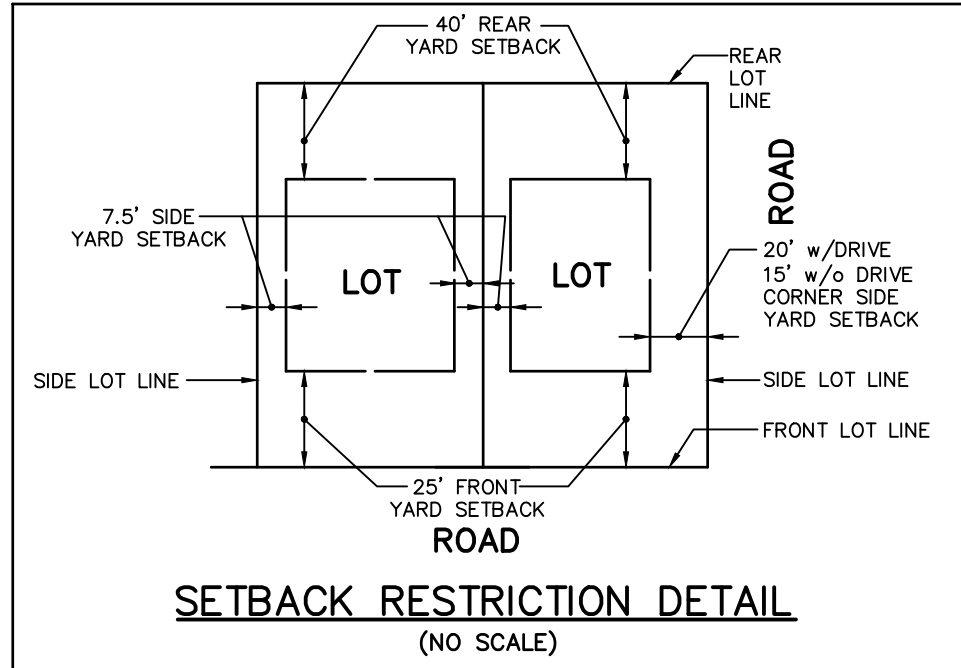
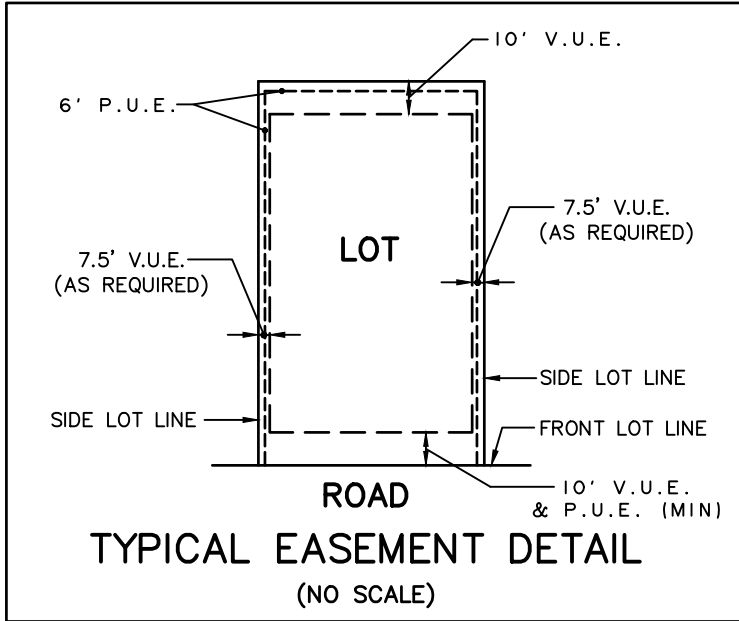
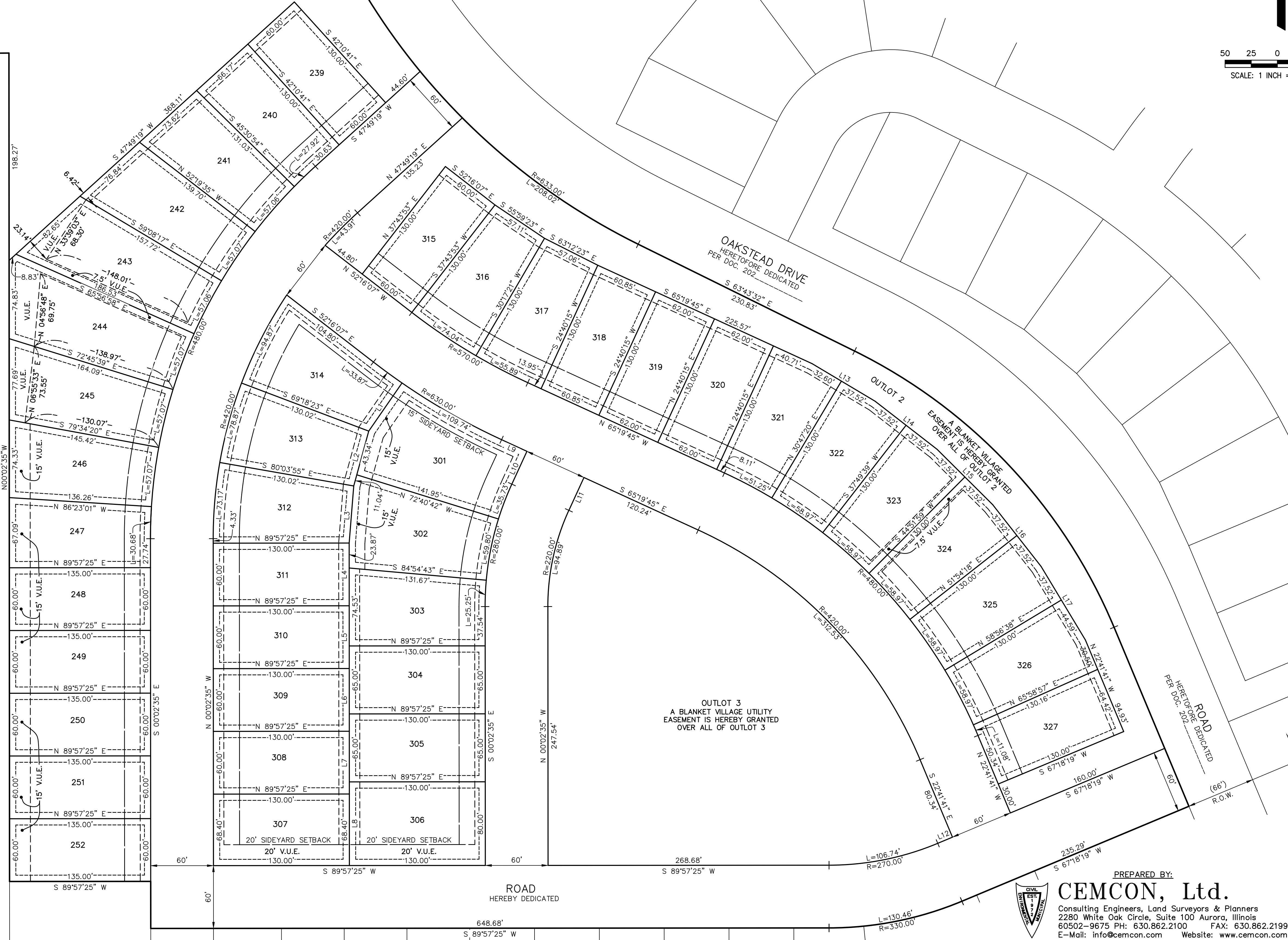


OAKSTEAD SUBDIVISION
NEIGHBORHOOD F
PER DOC. 17089C0126J

OUTLOT 1
A BLANKET STORMWATER MANAGEMENT EASEMENT,
A PUBLIC UTILITY AND VILLAGE UTILITY
EASEMENT ARE HEREBY GRANTED OVER
ALL OF OUTLOT 1

Approximate Limits of a
Zone A per F.I.R.M. Panel
17089C0126J

LINE TABLE		
LINE	BEARING	LENGTH
L1	S 34°39'03" W	55.96'
L2	S 15°18'51" W	54.37'
L3	S 04°34'39" W	54.78'
L4	S 00°02'35" E	60.00'
L5	S 00°02'35" E	60.00'
L6	S 00°02'35" E	60.00'
L7	S 00°02'35" E	60.00'
L8	N 00°02'35" W	80.00'
L9	S 65°19'45" E	26.67'
L10	S 24°40'15" W	34.55'
L11	N 24°40'15" E	34.55'
L12	S 67°18'19" W	15.29'
L13	N 59°12'40" W	70.11'
L14	N 52°10'21" W	75.03'
L15	N 45°08'01" W	75.03'
L16	N 38°05'42" W	75.03'
L17	N 31°03'22" W	82.11'



PREPARED BY:
CEMCON, Ltd.
Consulting Engineers, Land Surveyors & Planners
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REVISED 06-24-26\AJB PER VILLAGE COMMENTS DATED 06-09-26
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DRAWING PATH: P:\456279\SURVEY\DRAWINGS\PLATS\SUBPLAT-H_C3D.DWG
PLOT FILE CREATED: 6/24/2026 BY: TONY BILUS

OWNERSHIP CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DUPAGE)

THIS IS TO CERTIFY THAT HAMPSHIRE EAST, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY, IS THE FEE SIMPLE OWNER OF THE PROPERTY DESCRIBED IN THE FOREGOING SURVEYOR'S CERTIFICATE AND HAS CAUSED THE SAME TO BE SURVEYED, SUBDIVIDED, AND PLATTED AS SHOWN HEREON FOR THE USES AND PURPOSES HEREIN SET FORTH AS ALLOWED AND PROVIDED FOR BY STATUTE, AND DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE THEREON INDICATED.

THE UNDERSIGNED HEREBY DEDICATES FOR PUBLIC USE THE LANDS INDICATED ON THIS PLAT AS THOROUGHFARES, STREETS, ALLEYS AND PUBLIC SERVICES, AND HEREBY ALSO RESERVES FOR ANY ELECTRIC, GAS, TELEPHONE, CABLE TV OR OTHER TELECOMMUNICATIONS COMPANY UNDER FRANCHISE AGREEMENT WITH THE VILLAGE OF HAMPSHIRE, THEIR SUCCESSORS AND ASSIGNS, THE EASEMENT PROVISIONS WHICH ARE STATED HEREON.

THE UNDERSIGNED, FURTHER CERTIFIES THAT ALL OF THE LAND INCLUDED IN THIS PLAT LIES WITHIN THE BOUNDARIES OF COMMUNITY UNIT SCHOOL DISTRICT 300.

DATED AT NAPERVILLE, IL DUPAGE COUNTY, ILLINOIS

HAMPSHIRE EAST LLC
1751A WEST DIEHL ROAD
NAPERVILLE, IL 60563

TITLE TITLE
PRINTED NAME PRINTED NAME

NOTARY CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DUPAGE)

I, _____, A NOTARY PUBLIC IN AND FOR THE COUNTY AND STATE AFORESAID, DO HEREBY CERTIFY THAT _____ AND _____ PERSONALLY KNOWN TO ME TO BE THE PRESIDENT AND SECRETARY OF HAMPSHIRE WEST, LLC, AS SHOWN ABOVE, APPEARED BEFORE ME THIS DAY AND ACKNOWLEDGED THAT AS SUCH OFFICERS, THEY SIGNED AND DELIVERED THE SAID INSTRUMENT AND CAUSED THE CORPORATE SEAL TO BE AFFIXED THERETO AS THEIR FREE AND VOLUNTARY ACT AND AS THE FREE AND VOLUNTARY ACT OF SAID CORPORATION, FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARIAL SEAL

THIS ____ DAY OF _____, 20____.

NOTARY PUBLIC

SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DUPAGE)

THIS IS TO CERTIFY THAT I, JEFFREY R. PANKOW, ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 35--3483, AT THE REQUEST OF THE OWNER(S) THEREOF, HAVE SURVEYED, SUBDIVIDED AND PLATTED THE FOLLOWING DESCRIBED PROPERTY:

THAT PART OF THE SOUTHEAST QUARTER OF SECTION 13, TOWNSHIP 42 NORTH, RANGE 6 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWEST CORNER OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 13; THENCE SOUTH 89 DEGREES 30 MINUTES 53 SECONDS WEST, 440.08 FEET TO A LINE THAT IS 872.16 FEET EAST OF AND PARALLEL WITH THE WEST LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 13; THENCE NORTH 00 DEGREES 01 MINUTE 54 SECONDS EAST, 169.99 FEET ALONG SAID PARALLEL LINE TO THE SOUTHWEST CORNER OF OUTLOT 8 IN OAKSTEAD NEIGHBORHOOD F RECORDED AS DOCUMENT _____; THENCE SOUTH 89 DEGREES 58 MINUTES 41 SECONDS EAST, 727.97 FEET ALONG THE SOUTH LINE OF SAID OUTLOT 8 TO THE WESTERLY LINE OF OAKSTEAD DRIVE DEDICATED PER DOCUMENT _____; THE FOLLOWING FOUR COURSES ARE ALONG SAID WESTERLY LINE; 1) THENCE SOUTHEASTERLY, 480.59 FEET ALONG A CURVE TO THE LEFT, HAVING A RADIUS OF 633.00 FEET AND A CHORD BEARING SOUTH 41 DEGREES 58 MINUTES 32 SECONDS EAST; 2) THENCE SOUTH 63 DEGREES 43 MINUTES 32 SECONDS EAST, 230.83 FEET; 3) THENCE SOUTHEASTERLY, 370.24 FEET ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 517.00 FEET AND A CHORD BEARING SOUTH 43 DEGREES 12 MINUTES 36 SECONDS EAST; 4) THENCE SOUTH 22 DEGREES 41 MINUTES 41 SECONDS EAST, 185.59 FEET; THENCE SOUTH 67 DEGREES 18 MINUTES 19 SECONDS WEST, 235.29 FEET; THENCE SOUTHWESTERLY, 130.46 FEET ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 330.00 FEET AND A CHORD BEARING SOUTH 78 DEGREES 37 MINUTES 52 SECONDS WEST; THENCE SOUTH 89 DEGREES 57 MINUTES 25 SECONDS WEST, 648.68 FEET; THENCE NORTH 00 DEGREES 02 MINUTES 35 SECONDS WEST, 45.00 FEET; THENCE SOUTH 89 DEGREES 57 MINUTES 25 SECONDS WEST, 135.00 FEET TO THE WEST LINE OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 13; THENCE NORTH 00 DEGREES 02 MINUTES 35 SECONDS WEST, 792.21 FEET ALONG SAID WEST LINE TO THE POINT OF BEGINNING, IN KANE COUNTY, ILLINOIS.

I FURTHER CERTIFY THAT THE PLAT HEREON DRAWN WAS PREPARED IN ACCORDANCE WITH THE PLAT ACT AND THE ILLINOIS ADMINISTRATIVE CODE, SECTION 1270.56 MINIMUM STANDARDS OF PRACTICE. ALL DISTANCES ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.

I FURTHER CERTIFY THAT PART OF THE ABOVE--DESCRIBED PROPERTY IS LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA AS IDENTIFIED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY BASED ON FIRM 17089C126J, DATED JUNE 2, 2015. BUT THAT ALL SPECIAL FLOOD HAZARD AREAS ARE CONTAINED IN STORMWATER MANAGEMENT EASEMENTS OR LAND TO BE CONVEYED TO THE VILLAGE OF HAMPSHIRE AND THAT NO PARTS OF LOTS 239 THROUGH 327 (INCLUSIVE) ARE LOCATED WITHIN SAID SPECIAL FLOOD HAZARD AREA.

I FURTHER CERTIFY THAT ALL SUBDIVISION MONUMENTS WILL BE SET, AND I HAVE DESCRIBED THEM ON THIS FINAL PLAT AS REQUIRED BY THE PLAT ACT (765 ILCS 205/). THE EXTERIOR SUBDIVISION MONUMENTS HAVE BEEN SET AND INTERIOR MONUMENTS WILL BE SET WITHIN 12 MONTHS OF THE RECORDING OF THIS PLAT (SECTION 1270--56 OF THE ILLINOIS PROFESSIONAL LAND SURVEYOR ACT OF 1989).

I _____ FURTHER CERTIFY THAT THE PROPERTY SHOWN ON THE PLAT HEREON DRAWN IS SITUATED WITHIN THE CORPORATE LIMITS OF THE VILLAGE OF HAMPSHIRE, ILLINOIS, WHICH IS EXERCISING THE SPECIAL POWERS AUTHORIZED BY DIVISION 12 OF ARTICLE 11 OF THE ILLINOIS MUNICIPAL CODE AS AMENDED.

GIVEN UNDER MY HAND AND SEAL AT AURORA, ILLINOIS,

THIS ____TH DAY OF _____, 20____.

ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3483
MY REGISTRATION EXPIRES ON NOVEMBER 30, 2026
PROFESSIONAL DESIGN FIRM LICENSE NO. 184--002937
EXPIRATION DATE IS APRIL 30, 2027

FINAL PLAT OF SUBDIVISION
OF
OAKSTEAD SUBDIVISION
NEIGHBORHOOD H

PART OF THE SOUTHEAST QUARTER OF SECTION 13, TOWNSHIP 42 NORTH, RANGE 6 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN KANE COUNTY, ILLINOIS.

VILLAGE ENGINEER'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF KANE)

I, _____, VILLAGE ENGINEER FOR THE VILLAGE OF HAMPSHIRE, DO HEREBY CERTIFY THAT THE REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED OR THE REQUIRED GUARANTEE COLLATERAL HAS BEEN POSTED FOR THE COMPLETION OF ALL REQUIRED IMPROVEMENTS.

DATED AT HAMPSHIRE, ILLINOIS THIS ____ DAY OF _____, 20____.

VILLAGE ENGINEER

KANE COUNTY CLERK'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF KANE)

I, _____, COUNTY CLERK OF KANE COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT GENERAL TAXES, NO UNPAID CURRENT TAXES, NO UNPAID FORFEITED TAXES, AND NO REDEEMABLE TAX SALES AGAINST ANY OF THE LAND IN THE PLAT HEREIN DRAWN. I FURTHER CERTIFY THAT I HAVE RECEIVED ALL STATUTORY FEES IN CONNECTION WITH THE ANNEXED PLAT.

GIVEN UNDER MY HAND AND SEAL OF THE COUNTY CLERK AT GENEVA, ILLINOIS, THIS ____ DAY OF _____, A.D., 20____.

COUNTY CLERK

VILLAGE COLLECTOR'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF KANE)

I, _____, VILLAGE COLLECTOR OF THE VILLAGE OF HAMPSHIRE, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT OR UNPAID CURRENT OR FORFEITED SPECIAL ASSESSMENTS OR ANY DEFERRED INSTALLMENTS THEREOF THAT HAVE BEEN APPORTIONED AGAINST THE TRACT OF LAND INCLUDED IN THIS PLAT.

DATED AT HAMPSHIRE, KANE COUNTY, ILLINOIS.

THIS ____ DAY OF _____, 20____.

VILLAGE COLLECTOR

VILLAGE BOARD CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF KANE)

APPROVED BY THE PRESIDENT AND THE BOARD OF TRUSTEES OF THE VILLAGE OF HAMPSHIRE, ILLINOIS,

THIS ____ DAY OF _____, 20____.

VILLAGE PRESIDENT: _____

ATTEST: _____

PLANNING AND ZONING CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF KANE)

THIS IS TO CERTIFY THAT THE MEMBERS OF THE PLANNING AND ZONING COMMISSION OF THE VILLAGE OF HAMPSHIRE HAVE REVIEWED AND APPROVED THE ABOVE PLAT.

DATED THIS ____ DAY OF _____, 20____.

CHAIRMAN

SECRETARY

STORMWATER MANAGEMENT EASEMENT PROVISIONS

AN EASEMENT IS HEREBY RESERVED FOR AND GRANTED TO THE VILLAGE OF HAMPSHIRE AND TO ITS SUCCESSORS AND ASSIGNS, OVER ALL OF THE AREAS MARKED "STORMWATER MANAGEMENT EASEMENT" (abbreviated S.M.E.) ON THE PLAT FOR THE PERPETUAL RIGHT, PRIVILEGE, AND AUTHORITY TO SURVEY, CONSTRUCT, RECONSTRUCT, REPAIR, INSPECT, MAINTAIN AND OPERATE STORM SEWERS AND THE STORMWATER MANAGEMENT AREA, TOGETHER WITH ANY AND ALL NECESSARY MANHOLES, CATCH BASINS, SANITARY SEWERS, WATER MAINS, ELECTRIC AND COMMUNICATION CABLES, CONNECTIONS, DITCHES, SWALES, AND OTHER STRUCTURES AND APPURTENANCES AS MAY BE DEEMED NECESSARY BY SAID VILLAGE, OVER, UPON, ALONG, UNDER AND THROUGH SAID INDICATED EASEMENT, TOGETHER WITH THE RIGHT OF ACCESS ACROSS THE PROPERTY FOR NECESSARY MEN AND EQUIPMENT TO DO ANY OF THE ABOVE WORK. THE RIGHT IS ALSO GRANTED TO CUT DOWN, TRIM OR REMOVE ANY TREES, SHRUBS OR OTHER PLANTS ON THE EASEMENT THAT INTERFERE WITH THE OPERATION OF SEWERS OR OTHER UTILITIES. NO PERMANENT BUILDINGS SHALL BE PLACED ON SAID EASEMENT. NO CHANGE TO THE TOPOGRAPHY OR STORMWATER MANAGEMENT STRUCTURES WITHIN THE EASEMENT AREA SHALL BE MADE WITHOUT EXPRESS WRITTEN CONSENT OF THE VILLAGE ENGINEER, BUT SAME MAY BE USED FOR PURPOSES THAT DO NOT THEN OR LATER INTERFERE WITH THE AFORESAID USES OR RIGHTS.

THE OWNER OF THE PROPERTY SHALL REMAIN RESPONSIBLE FOR THE MAINTENANCE OF THE STORMWATER MANAGEMENT AREA AND APPURTENANCES. THE VILLAGE OF HAMPSHIRE WILL PERFORM ONLY EMERGENCY PROCEDURES AS DEEMED NECESSARY BY THE VILLAGE ENGINEER OF THE VILLAGE OF HAMPSHIRE.

GENERAL PROVISIONS COMMON TO ALL EASEMENTS:

NO FENCE, SHED OR ANY STRUCTURE SHALL BE ERECTED WITHIN AN EASEMENT THAT WILL OBSTRUCT OR PROHIBIT THE OVERLAND FLOW OF STORMWATER, OR OBSTRUCT, IMPEDE, OR PRECLUDE READY ACCESS TO ANY UTILITY FACILITY OR APPURTENANCE, SUCH AS AN EQUIPMENT BOX, A CATCH BASIN, OR ANY OTHER SUCH FACILITY OR APPURTENANCE.

THE VILLAGE OF HAMPSHIRE AND ITS REPRESENTATIVES SHALL, AT THEIR SOLE DISCRETION, REQUIRE ANY FENCE, STRUCTURE OR OTHER OBSTRUCTION THAT IS ERECTED WITHIN A PUBLIC UTILITY EASEMENT, VILLAGE UTILITY EASEMENT, UTILITY EASEMENT, DRAINAGE EASEMENT OR EASEMENT FOR STORMWATER DETENTION BASIN, BE REMOVED AT NO COST TO THE VILLAGE. THE COST OF REMOVAL AND REPLACEMENT OF ANY OBSTRUCTION SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER.

PUBLIC UTILITY EASEMENT PROVISIONS
(ELECTRIC AND COMMUNICATION)

COMMONWEALTH EDISON COMPANY, AMERITECH, MEDIACOM, AND OTHER UTILITY COMPANIES PROVIDING ELECTRIC AND COMMUNICATIONS SERVICES, THEIR RESPECTIVE SUCCESSORS, ASSIGNS, JOINTLY OR SEVERALLY ARE HEREBY GIVEN EASEMENT RIGHTS TO ALL PLATTED EASEMENTS DESIGNATED "PUBLIC UTILITY EASEMENTS" AND JOINTLY WITH VILLAGE UTILITIES TO ALL PLATTED EASEMENTS DESIGNATED "UTILITY EASEMENTS" TOGETHER WITH THE RIGHT OF ACCESS THERETO AND TO ALL PLATTED STREETS AND ALLEYS TO INSTALL, OPERATE, MAINTAIN AND REMOVE, FROM TIME TO TIME, FACILITIES USED IN CONNECTION WITH THE TRANSMISSION AND DISTRIBUTION OF ELECTRICITY AND SOUNDS AND SIGNALS, TOGETHER WITH THE RIGHT TO INSTALL REQUIRED SERVICE CONNECTIONS TO SERVE THE IMPROVEMENTS OF EACH LOT, THE RIGHT TO CUT DOWN AND REMOVE OR TRIM AND KEEP TRIMMED ANY TREES, SHRUBS OR SAPLINGS THAT INTERFERE OR THREATEN TO INTERFERE WITH ANY OF SAID PUBLIC UTILITY EQUIPMENT. THE LOCATION OF FACILITIES IN PLATTED STREETS AND ALLEYS SHALL NOT CONFLICT WITH PUBLIC IMPROVEMENTS AND SHALL BE SUBJECT TO VILLAGE APPROVAL. NO PERMANENT BUILDINGS OR TREES SHALL BE PLACED ON SAID EASEMENT, BUT SAME MAY BE USED FOR GARDENS, SHRUBS, LANDSCAPING AND OTHER PURPOSES THAT DO NOT THEN OR LATER INTERFERE WITH THE AFORESAID USES OR THE RIGHTS HEREIN GRANTED. ALL UTILITY LINES SHALL BE CONSTRUCTED UNDERGROUND. NO OVERHEAD LINES WILL BE PERMITTED.

PUBLIC UTILITY EASEMENT PROVISIONS
(NICOR)

NICOR, ITS SUCCESSOR AND ASSIGNS, IS HEREBY GIVEN EASEMENT RIGHTS TO ALL PLATTED STREETS AND ALLEYS. SAID EASEMENT TO BE FOR THE INSTALLATION, RELOCATION, RENEWAL AND REMOVAL OF GAS MAINS AND APPURTENANCES. LOCATION OF MAINS AND APPURTENANCES SHALL NOT CONFLICT WITH PUBLIC IMPROVEMENTS AND SHALL BE SUBJECT TO VILLAGE APPROVAL.

DRAINAGE EASEMENT PROVISIONS

THE VILLAGE OF HAMPSHIRE IS HEREBY GIVEN EASEMENT RIGHTS TO ALL PLATTED EASEMENTS DESIGNATED "DRAINAGE EASEMENT" OR "DE" TO INSTALL, OPERATE AND MAINTAIN UNDERGROUND AND SURFACE DRAINAGE FACILITIES AND WATERCOURSES. SAID EASEMENTS SHALL BE USED FOR NO OTHER PURPOSE EXCEPT AS EXPRESSLY AUTHORIZED BY THE VILLAGE. NO PERMANENT BUILDINGS SHALL BE PLACED ON SAID EASEMENT, BUT SAME MAY BE USED FOR GARDENS, SHRUBS, LANDSCAPING AND OTHER PURPOSES THAT DO NOT THEN OR LATER INTERFERE WITH THE AFORESAID USES OR THE RIGHTS HEREIN GRANTED.

VILLAGE UTILITY EASEMENT PROVISIONS

THE VILLAGE OF HAMPSHIRE IS HEREBY GIVEN EASEMENT RIGHTS TO ALL PLATTED EASEMENTS DESIGNATED "VILLAGE UTILITY EASEMENT", TOGETHER WITH THE RIGHT OF ACCESS THERETO. SAID EASEMENTS SHALL BE USED SOLELY TO INSTALL, OPERATE, MAINTAIN AND REMOVE FROM TIME TO TIME, ABOVE GROUND AND UNDERGROUND FACILITIES AND APPURTENANCES USED IN CONNECTION WITH THE WATER SYSTEM, SANITARY SEWER SYSTEM AND STORM DRAINAGE SYSTEM OF THE VILLAGE OF HAMPSHIRE. THESE EASEMENTS MAY BE GRADED AS SWALES TO RECEIVE LOCAL SURFACE DRAINAGE. NO PERMANENT BUILDING SHALL BE PLACED ON SAID EASEMENT, BUT THE SAME MAY BE USED FOR GARDENS, SHRUBS, LANDSCAPING AND OTHER PURPOSES THAT DO NOT THEN OR LATER INTERFERE WITH THE AFORESAID USES OR RIGHTS HEREIN GRANTED. TREES SHALL ONLY BE ALLOWED TO BE PLACED IN SUCH LOCATIONS IN THE EASEMENT AS ARE APPROVED BY THE VILLAGE STAFF TO AVOID ACTUAL CONFLICTS WITH UTILITIES.

THE VILLAGE OF HAMPSHIRE AND ITS REPRESENTATIVES SHALL, AT THEIR SOLE DISCRETION, REQUIRE ANY FENCE, STRUCTURE OR OTHER OBSTRUCTION THAT IS ERECTED WITHIN A VILLAGE UTILITY EASEMENT, BE REMOVED AT NO COST TO THE VILLAGE. THE COST OF REMOVAL AND REPLACEMENT OF ANY OBSTRUCTION AND ANY OTHER VILLAGE EXPENSES ASSOCIATED THEREWITH SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER OF THE PROPERTY UPON WHICH THE EASEMENT OBSTRUCTION IS LOCATED.

THE VILLAGE SHALL HAVE NO OBLIGATION WITH RESPECT TO SURFACE RESTORATION, INCLUDING BUT NOT LIMITED TO, THE LAWN OR SHRUBBERY; PROVIDED, HOWEVER, THAT THE VILLAGE SHALL BE OBLIGATED FOLLOWING MAINTENANCE WORK TO 1) STABILIZE ALL SURFACES (IN ANY MANNER SUITABLE TO THE VILLAGE) SO AS TO RETAIN SUITABLE DRAINAGE, 2) TO REMOVE ALL EXCESS DEBRIS AND SPOIL AND 3) TO LEAVE THE MAINTENANCE AREA IN A GENERALLY CLEAN AND WORKMANLIKE CONDITION.

PREPARED BY:
CEMCON, Ltd.



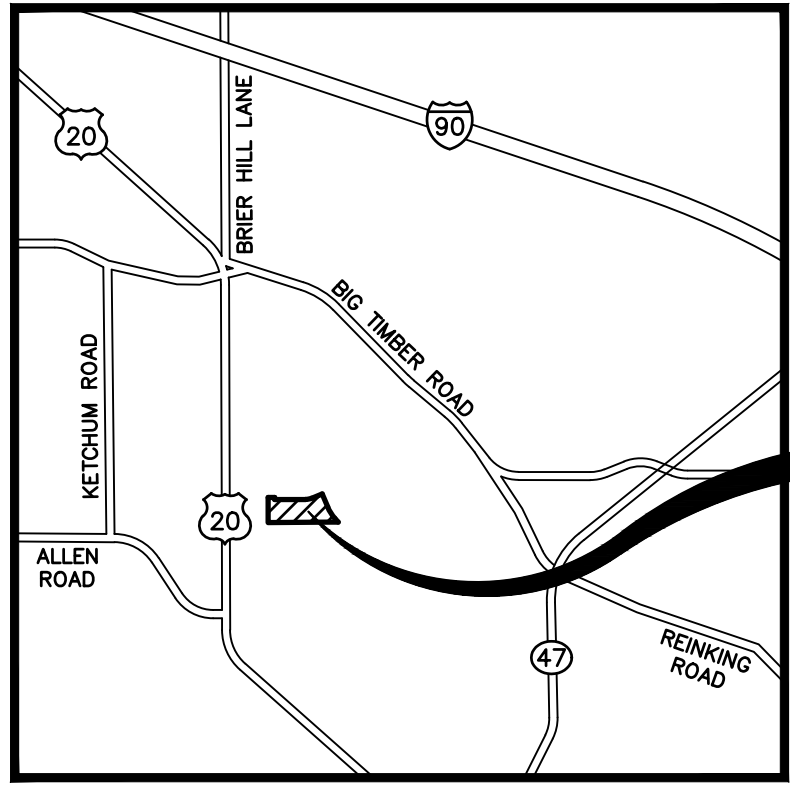
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DISC NO.: 456279 FILE NAME: SUBPLAT-H_C3D
DRAWN BY: AJB FLD. BK. / PG. NO.: N/A
COMPLETION DATE: 04--20--26 JOB NO.: 456.279
PROJECT REFERENCE: 456.209 & 456.267
CHECKED BY: JRP 03--16--26
REVISED 06--24--26\AJB PER VILLAGE COMMENTS DATED 06--09--26

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FINAL PLAT OF SUBDIVISION
OF
OAKSTEAD SUBDIVISION
NEIGHBORHOOD I

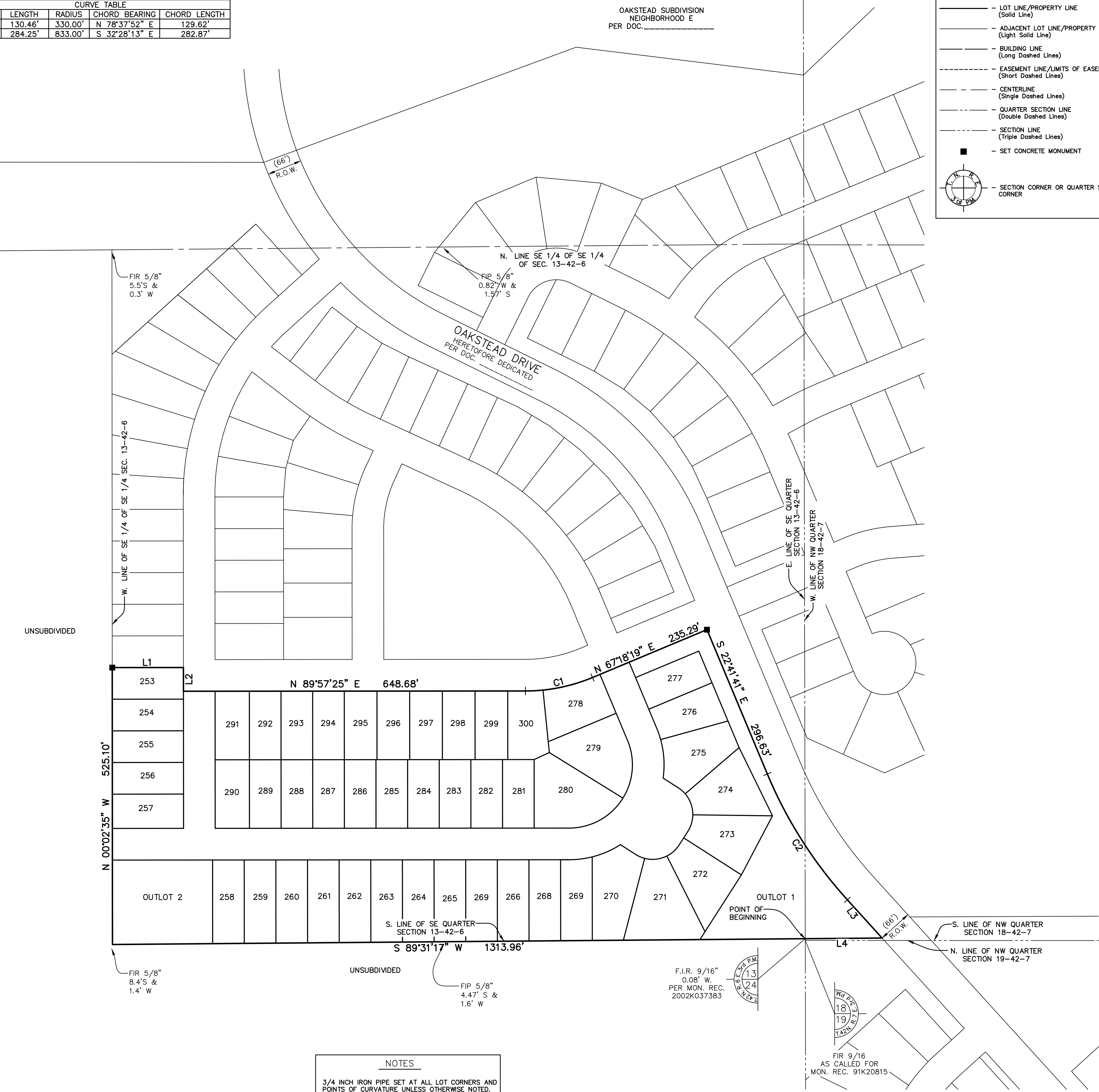
PART OF THE SOUTHEAST QUARTER OF SECTION 13, TOWNSHIP 42 NORTH, RANGE 6 EAST OF THE THIRD PRINCIPAL MERIDIAN, AND THE SOUTHWEST QUARTER OF SECTION 18, TOWNSHIP 42 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN KANE COUNTY, ILLINOIS.



VICINITY MAP

LINE TABLE		
LINE	BEARING	LENGTH
L1	N 89°57'25" E	135.00'
L2	S 00°02'35" E	45.00'
L3	S 42°14'45" E	97.95'
L4	S 89°31'17" W	145.71'

CURVE TABLE				
CURVE	LENGTH	RADIUS	CHORD BEARING	CHORD LENGTH
C1	130.46'	330.00'	N 78°37'52" E	129.62'
C2	284.25'	833.00'	S 32°28'13" E	282.87'



LOT AREA SUMMARY TABLE			
LOT NUMBER	SQ. FT.	LOT NUMBER	SQ. FT.
253	8,100	278	10,664
254	8,100	279	14,441
255	8,100	280	16,191
256	8,100	281	7,800
257	8,775	282	7,800
258	9,505	283	7,800
259	9,478	284	7,800
260	9,451	285	7,800
261	9,423	286	7,800
262	9,396	287	7,800
263	9,369	288	7,800
264	9,341	289	7,800
265	9,314	290	8,450
266	9,287	291	8,450
267	9,259	292	7,800
268	9,232	293	7,800
269	9,205	294	7,800
270	13,519	295	8,060
271	15,850	296	8,060
272	11,734	297	8,060
273	11,407	298	8,060
274	12,279	299	8,060
275	12,117	300	9,389
276	9,151	OUTLOT 1	55,890
277	8,450	OUTLOT 2	30,286

NOTES

3/4 INCH IRON PIPE SET AT ALL LOT CORNERS AND POINTS OF CURVATURE UNLESS OTHERWISE NOTED.

ALL MEASUREMENTS ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.

DIMENSIONS SHOWN ALONG CURVES ARE ARC DISTANCES.

DIMENSIONS ENCLOSED WITH () ARE RECORD DATA. ALL OTHER DIMENSIONS ARE MEASURED.

ALL EASEMENTS ARE HEREBY GRANTED UNLESS OTHERWISE NOTED.

V.U.E. - INDICATES VILLAGE UTILITY EASEMENT HEREBY GRANTED. SEE PROVISIONS FOR DETAILS.

D.E. - INDICATES DRAINAGE EASEMENT HEREBY GRANTED. SEE PROVISIONS FOR DETAILS.

P.U.E. - INDICATES PUBLIC UTILITY EASEMENT HEREBY GRANTED. SEE PROVISIONS FOR DETAILS.

B.L. - BUILDING SETBACK LINE

THE BEARINGS SHOWN ARE BASED UPON THE WEST LINE OF THE NORTHWEST QUARTER OF SECTION 19-42-7 BEING N 00°07'46" W (ASSUMED).

GAP IN LOT NUMBERING DUE TO THE PREDEFINED LOT NUMBERING WITHIN THE OAKSTEAD DEVELOPMENT.

F.I.P. = FOUND IRON PIPE (ø AS SHOWN)
F.I.R. = FOUND IRON ROD (ø AS SHOWN)

ALL OUTLOTS TO BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION.

THIS PLAT WAS SUBMITTED TO THE COUNTY RECORDER FOR THE PURPOSES OF RECORDING BY:

(PRINT NAME)

(ADDRESS)

(CITY/TOWN) (STATE) (ZIP CODE)

VILLAGE OF HAMPSHIRE

RESOLUTION NO. 25-_____

RESOLUTION APPROVING A FINAL PLAT OF SUBDIVISION FOR OAKSTEAD SUBDIVISION NEIGHBORHOOD I

SHEET 1 OF 3

100 50 0 100

SCALE: 1 INCH = 100 FEET

TOTAL AREA OF SUBDIVISION

14.693 ACRES

(MORE OR LESS)

PARCEL INDEX NUMBERS

PART OF 01-13-400-008
PART OF 01-13-400-006
PART OF 02-18-300-002
HAMPSHIRE, ILLINOIS

LEGEND

- SUBDIVISION BOUNDARY LINE (Heavy Solid Line)
- LOT LINE/PROPERTY LINE (Solid Line)
- ADJACENT LOT LINE/PROPERTY LINE (Light Solid Line)
- BUILDING LINE (Long Dashed Lines)
- EASEMENT LINE/LIMITS OF EASEMENT (Short Dashed Lines)
- CENTERLINE (Single Dashed Lines)
- QUARTER SECTION LINE (Double Dashed Lines)
- SECTION LINE (Triple Dashed Lines)
- SET CONCRETE MONUMENT



SECTION CORNER OR QUARTER SECTION CORNER

PREPARED FOR:

HAMPSHIRE EAST, LLC
1751 A. WEST DIEHL ROAD
NAPERVILLE, IL 60563
(630) 851-5490



PREPARED BY:

CEMCON, Ltd.

Consulting Engineers, Land Surveyors & Planners
2280 White Oak Circle, Suite 100 Aurora, Illinois
60502-9675 PH: 630.862.2100 FAX: 630.862.2199
E-Mail: info@cemcon.com Website: www.cemcon.com

DISC NO.: 456279 FILE NAME: SUBPLAT-L_C3D
DRAWN BY: AJB FLD. BK. / PG. NO.: N/A
COMPLETION DATE: 04-20-26 JOB NO.: 456.279
PROJECT REFERENCE: 456.209 & 456.267
CHECKED BY: JRP 03-12-26
REVISED 06-24-26/AJB PER VILLAGE COMMENTS DATED 06-09-26

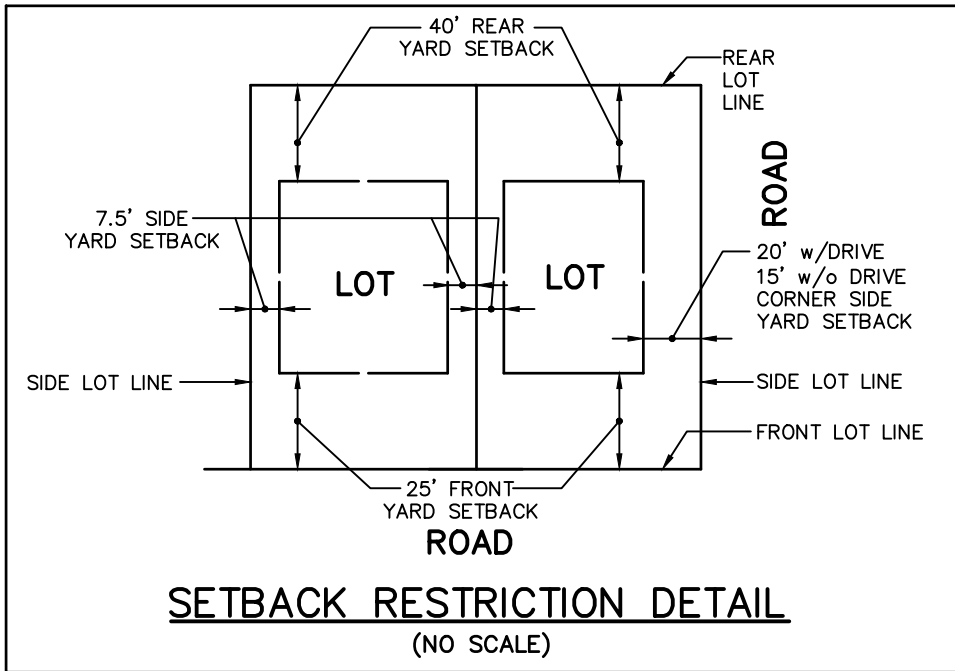
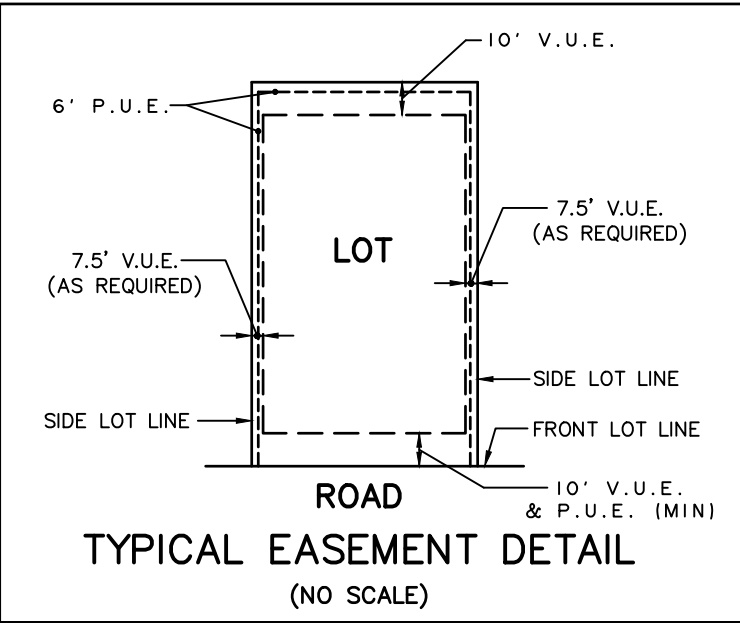
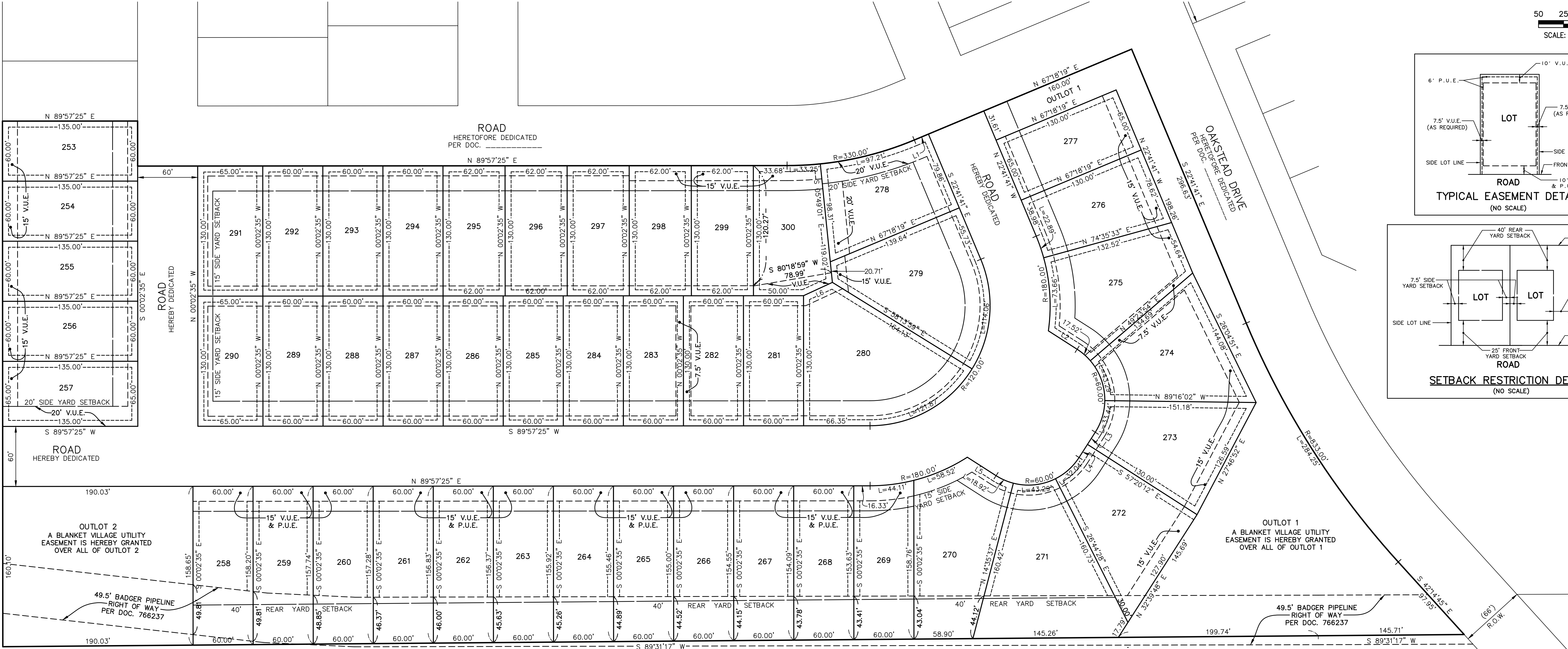
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FINAL PLAT OF SUBDIVISION
OF
OAKSTEAD SUBDIVISION
NEIGHBORHOOD I

PART OF THE SOUTHEAST QUARTER OF SECTION 13, TOWNSHIP 42 NORTH, RANGE 6 EAST OF THE THIRD
PRINCIPAL MERIDIAN, AND THE NORTHWEST QUARTER OF SECTION 18, TOWNSHIP 42 NORTH, RANGE 7 EAST
OF THE THIRD PRINCIPAL MERIDIAN, IN KANE COUNTY, ILLINOIS.



LINE TABLE		
LINE	BEARING	LENGTH
L1	N 67°18'19" E	15.29'
L2	N 57°20'12" W	34.10'
L3	N 32°39'48" E	14.44'
L4	N 32°39'48" E	15.56'
L5	S 57°20'12" E	34.10'
L6	N 65°16'10" E	31.75'



DRAWING PATH: P:\456279\SURVEY\DRAWINGS\PLATS\SUBPLAT-1_C3D.DWG

PLOT FILE CREATED: 6/24/2026 BY: TONY BILUS



PREPARED BY:
CEMCON, Ltd.

Consulting Engineers, Land Surveyors & Planners
2280 White Oak Circle, Suite 100 Aurora, Illinois
60502-9675 PH: 630.862.2100 FAX: 630.862.2199
E-Mail: info@cemcon.com Website: www.cemcon.com

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DRAWING PATH: P:\456279\SURVEY\DRAWINGS\PLATS\SUBPLAT--L_C3D.DWG
PLOT FILE CREATED: 6/24/2026 BY: TONY BILIS

OWNERSHIP CERTIFICATE

STATE OF ILLINOIS)
) SS
COUNTY OF DUPAGE)

THIS IS TO CERTIFY THAT HAMPSHIRE EAST, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY, IS THE FEE SIMPLE OWNER OF THE PROPERTY DESCRIBED IN THE FOREGOING SURVEYOR'S CERTIFICATE AND HAS CAUSED THE SAME TO BE SURVEYED, SUBDIVIDED, AND PLATTED AS SHOWN HEREON FOR THE USES AND PURPOSES HEREIN SET FORTH AS ALLOWED AND PROVIDED FOR BY STATUTE, AND DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE THEREON INDICATED.

THE UNDERSIGNED HEREBY DEDICATES FOR PUBLIC USE THE LANDS INDICATED ON THIS PLAT AS THOROUGHFARES, STREETS, ALLEYS AND PUBLIC SERVICES; AND HEREBY ALSO RESERVES FOR ANY ELECTRIC, GAS, TELEPHONE, CABLE TV OR OTHER TELECOMMUNICATIONS COMPANY UNDER FRANCHISE AGREEMENT WITH THE VILLAGE OF HAMPSHIRE, THEIR SUCCESSORS AND ASSIGNS, THE EASEMENT PROVISIONS WHICH ARE STATED HEREON.

THE UNDERSIGNED, FURTHER CERTIFIES THAT ALL OF THE LAND INCLUDED IN THIS PLAT LIES WITHIN THE BOUNDARIES OF COMMUNITY UNIT SCHOOL DISTRICT 300.

DATED AT NAPERVILLE, IL DUPAGE COUNTY, ILLINOIS

HAMPSHIRE EAST LLC
1751A WEST DIEHL ROAD
NAPERVILLE, IL 60563

TITLE

PRINTED NAME

TITLE

PRINTED NAME

NOTARY CERTIFICATE

STATE OF ILLINOIS)
) SS
COUNTY OF DUPAGE)

I, _____, A NOTARY PUBLIC IN AND FOR THE COUNTY AND STATE AFORESAID, DO HEREBY CERTIFY THAT _____ AND _____ PERSONALLY KNOWN TO ME TO BE THE PRESIDENT AND SECRETARY OF HAMPSHIRE WEST, LLC, AS SHOWN ABOVE, APPEARED BEFORE ME THIS DAY AND ACKNOWLEDGED THAT AS SUCH OFFICERS, THEY SIGNED AND DELIVERED THE SAID INSTRUMENT AND CAUSED THE CORPORATE SEAL TO BE AFFIXED THERETO AS THEIR FREE AND VOLUNTARY ACT AND AS THE FREE AND VOLUNTARY ACT OF SAID CORPORATION, FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARIAL SEAL

THIS ____ DAY OF _____, 20____.

NOTARY PUBLIC

SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS)
) SS.
COUNTY OF DUPAGE)

THIS IS TO CERTIFY THAT I, JEFFREY R. PANKOW, ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3483, AT THE REQUEST OF THE OWNER(S) THEREOF, HAVE SURVEYED, SUBDIVIDED AND PLATTED THE FOLLOWING DESCRIBED PROPERTY:

THAT PART OF THE SOUTHEAST QUARTER OF SECTION 13, TOWNSHIP 42 NORTH, RANGE 6 EAST OF THE THIRD PRINCIPAL MERIDIAN, AND THE SOUTHWEST QUARTER OF SECTION 18, TOWNSHIP 42 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, BEGINNING AT THE SOUTHEAST CORNER OF SAID SECTION 13; THENCE SOUTH 89 DEGREES 31 MINUTES 17 SECONDS WEST, 1313.96 FEET ALONG THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 13 TO THE WEST LINE OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 13; THENCE NORTH 00 DEGREES 02 MINUTES 35 SECONDS WEST, 525.10 ALONG SAID WEST LINE; THENCE NORTH 89 DEGREES 57 MINUTES 25 SECONDS EAST, 135.00 FEET; THENCE SOUTH 00 DEGREES 02 MINUTES 35 SECONDS EAST, 45.00 FEET; THENCE NORTH 89 DEGREES 57 MINUTES 25 SECONDS EAST, 648.68 FEET; THENCE EASTERLY, 130.46 FEET ALONG A CURVE TO THE LEFT, HAVING A RADIUS OF 330.00 FEET AND A CHORD BEARING NORTH 78 DEGREES 37 MINUTES 52 SECONDS EAST; THENCE NORTH 67 DEGREES 18 MINUTES 19 SECONDS EAST, 235.29 FEET TO THE WESTERLY LINE OF OAKSTEAD DRIVE AS DEDICATED BY DOCUMENT _____; THE FOLLOWING THREE COURSES ARE ALONG SAID WESTERLY LINE; 1) THENCE SOUTH 22 DEGREES 41 MINUTES 41 SECONDS EAST, 296.63 FEET; 2) THENCE SOUTHERLY, 284.25 FEET ALONG A CURVE TO THE LEFT, HAVING A RADIUS OF 833.00 FEET AND A CHORD BEARING SOUTH 32 DEGREES 28 MINUTES 13 SECONDS EAST; 3) THENCE SOUTH 42 DEGREES 14 MINUTES 45 SECONDS EAST, 97.95 FEET; THENCE SOUTH 89 DEGREES 31 MINUTES 17 SECONDS WEST, 145.71 FEET TO THE POINT OF BEGINNING, IN KANE COUNTY, ILLINOIS.

I FURTHER CERTIFY THAT THE PLAT HEREON DRAWN WAS PREPARED IN ACCORDANCE WITH THE PLAT ACT AND THE ILLINOIS ADMINISTRATIVE CODE, SECTION 1270.56 MINIMUM STANDARDS OF PRACTICE. ALL DISTANCES ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.

I FURTHER CERTIFY THAT NO PART OF THE ABOVE-DESCRIBED PROPERTY IS LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA AS IDENTIFIED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY BASED ON FIRM 17089C0126J, DATED JUNE 2, 2015, ALL OF THE PROPERTY IS IN ZONE X, AREAS OF MINIMAL FLOODING.

I FURTHER CERTIFY THAT ALL SUBDIVISION MONUMENTS WILL BE SET, AND I HAVE DESCRIBED THEM ON THIS FINAL PLAT AS REQUIRED BY THE PLAT ACT (765 ILCS 205/). THE EXTERIOR SUBDIVISION MONUMENTS HAVE BEEN SET AND INTERIOR MONUMENTS WILL BE SET WITHIN 12 MONTHS OF THE RECORDING OF THIS PLAT (SECTION 1270-56 OF THE ILLINOIS PROFESSIONAL LAND SURVEYOR ACT OF 1989).

I FURTHER CERTIFY THAT THE PROPERTY SHOWN ON THE PLAT HEREON DRAWN IS SITUATED WITHIN THE CORPORATE LIMITS OF THE VILLAGE OF HAMPSHIRE, ILLINOIS, WHICH IS EXERCISING THE SPECIAL POWERS AUTHORIZED BY DIVISION 12 OF ARTICLE 11 OF THE ILLINOIS MUNICIPAL CODE AS AMENDED.

GIVEN UNDER MY HAND AND SEAL AT AURORA, ILLINOIS,

THIS ____TH DAY OF _____, 20____.

ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3483
MY REGISTRATION EXPIRES ON NOVEMBER 30, 2026
PROFESSIONAL DESIGN FIRM LICENSE NO. 184-002937
EXPIRATION DATE IS APRIL 30, 2027

FINAL PLAT OF SUBDIVISION
OF
OAKSTEAD SUBDIVISION
NEIGHBORHOOD I

PART OF THE SOUTHEAST QUARTER OF SECTION 13, TOWNSHIP 42 NORTH, RANGE 6 EAST OF THE THIRD PRINCIPAL MERIDIAN, AND THE NORTHWEST QUARTER OF SECTION 18, TOWNSHIP 42 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN KANE COUNTY, ILLINOIS.

VILLAGE ENGINEER'S CERTIFICATE

STATE OF ILLINOIS)
) SS
COUNTY OF KANE)

I, _____, VILLAGE ENGINEER FOR THE VILLAGE OF HAMPSHIRE, DO HEREBY CERTIFY THAT THE REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED OR THE REQUIRED GUARANTEE COLLATERAL HAS BEEN POSTED FOR THE COMPLETION OF ALL REQUIRED IMPROVEMENTS.

DATED AT HAMPSHIRE, ILLINOIS THIS ____ DAY OF _____, 20____.

VILLAGE ENGINEER

KANE COUNTY CLERK'S CERTIFICATE

STATE OF ILLINOIS)
) SS.
COUNTY OF KANE)

I, _____, COUNTY CLERK OF KANE COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT GENERAL TAXES, NO UNPAID CURRENT TAXES, NO UNPAID FORFEITED TAXES, AND NO REDEEMABLE TAX SALES AGAINST ANY OF THE LAND IN THE PLAT HEREIN DRAWN. I FURTHER CERTIFY THAT I HAVE RECEIVED ALL STATUTORY FEES IN CONNECTION WITH THE ANNEXED PLAT.

GIVEN UNDER MY HAND AND SEAL OF THE COUNTY CLERK AT GENEVA, ILLINOIS, THIS ____ DAY OF _____, A.D., 20____

COUNTY CLERK

VILLAGE COLLECTOR'S CERTIFICATE

STATE OF ILLINOIS)
) SS
COUNTY OF KANE)

I, _____, VILLAGE COLLECTOR OF THE VILLAGE OF HAMPSHIRE, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT OR UNPAID CURRENT OR FORFEITED SPECIAL ASSESSMENTS OR ANY DEFERRED INSTALLMENTS THEREOF THAT HAVE BEEN APPORTIONED AGAINST THE TRACT OF LAND INCLUDED IN THIS PLAT.

DATED AT HAMPSHIRE, KANE COUNTY, ILLINOIS.

THIS ____ DAY OF _____, 20____.

VILLAGE COLLECTOR

VILLAGE BOARD CERTIFICATE

STATE OF ILLINOIS)
) SS
COUNTY OF KANE)

APPROVED BY THE PRESIDENT AND THE BOARD OF TRUSTEES OF THE VILLAGE OF HAMPSHIRE, ILLINOIS,

THIS ____ DAY OF _____, 20____.

VILLAGE PRESIDENT: _____

ATTEST: _____

PLANNING AND ZONING CERTIFICATE

STATE OF ILLINOIS)
) SS
COUNTY OF KANE)

THIS IS TO CERTIFY THAT THE MEMBERS OF THE PLANNING AND ZONING COMMISSION OF THE VILLAGE OF HAMPSHIRE HAVE REVIEWED AND APPROVED THE ABOVE PLAT.

DATED THIS ____ DAY OF _____, 20____.

CHAIRMAN

SECRETARY

STORMWATER MANAGEMENT EASEMENT PROVISIONS

AN EASEMENT IS HEREBY RESERVED FOR AND GRANTED TO THE VILLAGE OF HAMPSHIRE AND TO ITS SUCCESSORS AND ASSIGNS, OVER ALL OF THE AREAS MARKED "STORMWATER MANAGEMENT EASEMENT" (abbreviated S.M.E.) ON THE PLAT FOR THE PERPETUAL RIGHT, PRIVILEGE, AND AUTHORITY TO SURVEY, CONSTRUCT, RECONSTRUCT, REPAIR, INSPECT, MAINTAIN AND OPERATE STORM SEWERS AND THE STORMWATER MANAGEMENT AREA, TOGETHER WITH ANY AND ALL NECESSARY MANHOLES, CATCH BASINS, SANITARY SEWERS, WATER MAINS, ELECTRIC AND COMMUNICATION CABLES, CONNECTIONS, DITCHES, SWALES, AND OTHER STRUCTURES AND APPURTENANCES AS MAY BE DEEMED NECESSARY BY SAID VILLAGE, OVER, UPON, ALONG, UNDER AND THROUGH SAID INDICATED EASEMENT, TOGETHER WITH THE RIGHT OF ACCESS ACROSS THE PROPERTY FOR NECESSARY MEN AND EQUIPMENT TO DO ANY OF THE ABOVE WORK. THE RIGHT IS ALSO GRANTED TO CUT DOWN, TRIM OR REMOVE ANY TREES, SHRUBS OR OTHER PLANTS ON THE EASEMENT THAT INTERFERE WITH THE OPERATION OF SEWERS OR OTHER UTILITIES. NO PERMANENT BUILDINGS SHALL BE PLACED ON SAID EASEMENT. NO CHANGE TO THE TOPOGRAPHY OR STORMWATER MANAGEMENT STRUCTURES WITHIN THE EASEMENT AREA SHALL BE MADE WITHOUT EXPRESS WRITTEN CONSENT OF THE VILLAGE ENGINEER, BUT SAME MAY BE USED FOR PURPOSES THAT DO NOT THEN OR LATER INTERFERE WITH THE AFORESAID USES OR RIGHTS.

THE OWNER OF THE PROPERTY SHALL REMAIN RESPONSIBLE FOR THE MAINTENANCE OF THE STORMWATER MANAGEMENT AREA AND APPURTENANCES. THE VILLAGE OF HAMPSHIRE WILL PERFORM ONLY EMERGENCY PROCEDURES AS DEEMED NECESSARY BY THE VILLAGE ENGINEER OF THE VILLAGE OF HAMPSHIRE.

GENERAL PROVISIONS COMMON TO ALL EASEMENTS:

NO FENCE, SHED OR ANY STRUCTURE SHALL BE ERECTED WITHIN AN EASEMENT THAT WILL OBSTRUCT OR PROHIBIT THE OVERLAND FLOW OF STORMWATER, OR OBSTRUCT, IMPEDE, OR PRECLUDE READY ACCESS TO ANY UTILITY FACILITY OR APPURTENANCE, SUCH AS AN EQUIPMENT BOX, A CATCH BASIN, OR ANY OTHER SUCH FACILITY OR APPURTENANCE.

THE VILLAGE OF HAMPSHIRE AND ITS REPRESENTATIVES SHALL, AT THEIR SOLE DISCRETION, REQUIRE ANY FENCE, STRUCTURE OR OTHER OBSTRUCTION THAT IS ERECTED WITHIN A PUBLIC UTILITY EASEMENT, VILLAGE UTILITY EASEMENT, UTILITY EASEMENT, DRAINAGE EASEMENT OR EASEMENT FOR STORMWATER DETENTION BASIN, BE REMOVED AT NO COST TO THE VILLAGE. THE COST OF REMOVAL AND REPLACEMENT OF ANY OBSTRUCTION SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER.

PUBLIC UTILITY EASEMENT PROVISIONS
(ELECTRIC AND COMMUNICATION)

COMMONWEALTH EDISON COMPANY, AMERITECH, MEDIACOM, AND OTHER UTILITY COMPANIES PROVIDING ELECTRIC AND COMMUNICATIONS SERVICES, THEIR RESPECTIVE SUCCESSORS AND ASSIGNS, JOINTLY OR SEVERALLY ARE HEREBY GIVEN EASEMENT RIGHTS TO ALL PLATTED EASEMENTS DESIGNATED "PUBLIC UTILITY EASEMENTS" AND JOINTLY WITH VILLAGE UTILITIES TO ALL PLATTED EASEMENTS DESIGNATED "UTILITY EASEMENTS" TOGETHER WITH THE RIGHT OF ACCESS THERETO AND TO ALL PLATTED STREETS AND ALLEYS TO INSTALL, OPERATE, MAINTAIN AND REMOVE, FROM TIME TO TIME, FACILITIES USED IN CONNECTION WITH THE TRANSMISSION AND DISTRIBUTION OF ELECTRICITY AND SOUNDS AND SIGNALS, TOGETHER WITH THE RIGHT TO INSTALL REQUIRED SERVICE CONNECTIONS TO SERVE THE IMPROVEMENTS OF EACH LOT, THE RIGHT TO CUT DOWN AND REMOVE OR TRIM AND KEEP TRIMMED ANY TREES, SHRUBS OR SAPLINGS THAT INTERFERE OR THREATEN TO INTERFERE WITH ANY OF SAID PUBLIC UTILITY EQUIPMENT. THE LOCATION OF FACILITIES IN PLATTED STREETS AND ALLEYS SHALL NOT CONFLICT WITH PUBLIC IMPROVEMENTS AND SHALL BE SUBJECT TO VILLAGE APPROVAL. NO PERMANENT BUILDINGS OR TREES SHALL BE PLACED ON SAID EASEMENT, BUT SAME MAY BE USED FOR GARDENS, SHRUBS, LANDSCAPING AND OTHER PURPOSES THAT DO NOT THEN OR LATER INTERFERE WITH THE AFORESAID USES OR THE RIGHTS HEREIN GRANTED. ALL UTILITY LINES SHALL BE CONSTRUCTED UNDERGROUND. NO OVERHEAD LINES WILL BE PERMITTED.

PUBLIC UTILITY EASEMENT PROVISIONS
(NICOR)

NICOR, ITS SUCCESSOR AND ASSIGNS, IS HEREBY GIVEN EASEMENT RIGHTS TO ALL PLATTED STREETS AND ALLEYS. SAID EASEMENT TO BE FOR THE INSTALLATION, RELOCATION, RENEWAL AND REMOVAL OF GAS MAINS AND APPURTENANCES. LOCATION OF MAINS AND APPURTENANCES SHALL NOT CONFLICT WITH PUBLIC IMPROVEMENTS AND SHALL BE SUBJECT TO VILLAGE APPROVAL.

DRAINAGE EASEMENT PROVISIONS

THE VILLAGE OF HAMPSHIRE IS HEREBY GIVEN EASEMENT RIGHTS TO ALL PLATTED EASEMENTS DESIGNATED "DRAINAGE EASEMENT" OR "DE" TO INSTALL, OPERATE AND MAINTAIN UNDERGROUND AND SURFACE DRAINAGE FACILITIES AND WATERCOURSES. SAID EASEMENTS SHALL BE USED FOR NO OTHER PURPOSE EXCEPT AS EXPRESSLY AUTHORIZED BY THE VILLAGE. NO PERMANENT BUILDINGS SHALL BE PLACED ON SAID EASEMENT, BUT SAME MAY BE USED FOR GARDENS, SHRUBS, LANDSCAPING AND OTHER PURPOSES THAT DO NOT THEN OR LATER INTERFERE WITH THE AFORESAID USES OR THE RIGHTS HEREIN GRANTED.

VILLAGE UTILITY EASEMENT PROVISIONS

THE VILLAGE OF HAMPSHIRE IS HEREBY GIVEN EASEMENT RIGHTS TO ALL PLATTED EASEMENTS DESIGNATED "VILLAGE UTILITY EASEMENT", TOGETHER WITH THE RIGHT OF ACCESS THERETO. SAID EASEMENTS SHALL BE USED SOLELY TO INSTALL, OPERATE, MAINTAIN AND REMOVE FROM TIME TO TIME, ABOVE GROUND AND UNDERGROUND FACILITIES AND APPURTENANCES USED IN CONNECTION WITH THE WATER SYSTEM, SANITARY SEWER SYSTEM AND STORM DRAINAGE SYSTEM OF THE VILLAGE OF HAMPSHIRE. THESE EASEMENTS MAY BE GRADED AS SWALES TO RECEIVE LOCAL SURFACE DRAINAGE. NO PERMANENT BUILDING SHALL BE PLACED ON SAID EASEMENT, BUT THE SAME MAY BE USED FOR GARDENS, SHRUBS, LANDSCAPING AND OTHER PURPOSES THAT DO NOT THEN OR LATER INTERFERE WITH THE AFORESAID USES OR RIGHTS HEREIN GRANTED. TREES SHALL ONLY BE ALLOWED TO BE PLACED IN SUCH LOCATIONS IN THE EASEMENT AS ARE APPROVED BY THE VILLAGE STAFF TO AVOID ACTUAL CONFLICTS WITH UTILITIES.

THE VILLAGE OF HAMPSHIRE AND ITS REPRESENTATIVES SHALL, AT THEIR SOLE DISCRETION, REQUIRE ANY FENCE, STRUCTURE OR OTHER OBSTRUCTION THAT IS ERECTED WITHIN A VILLAGE UTILITY EASEMENT, BE REMOVED AT NO COST TO THE VILLAGE. THE COST OF REMOVAL AND REPLACEMENT OF ANY OBSTRUCTION AND ANY OTHER VILLAGE EXPENSES ASSOCIATED THEREWITH SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER OF THE PROPERTY UPON WHICH THE EASEMENT OBSTRUCTION IS LOCATED.

THE VILLAGE SHALL HAVE NO OBLIGATION WITH RESPECT TO SURFACE RESTORATION, INCLUDING BUT NOT LIMITED TO, THE LAWN OR SHRUBBERY; PROVIDED, HOWEVER, THAT THE VILLAGE SHALL BE OBLIGATED FOLLOWING MAINTENANCE WORK TO 1) STABILIZE ALL SURFACES (IN ANY MANNER SUITABLE TO THE VILLAGE) SO AS TO RETAIN SUITABLE DRAINAGE, 2) TO REMOVE ALL EXCESS DEBRIS AND SPOIL AND 3) TO LEAVE THE MAINTENANCE AREA IN A GENERALLY CLEAN AND WORKMANLIKE CONDITION.

PREPARED BY:
CEMCON, Ltd.



Consulting Engineers, Land Surveyors & Planners
2280 White Oak Circle, Suite 100 Aurora, Illinois
60502-9675 PH: 630.862.2100 FAX: 630.862.2199
E-Mail: info@cemcon.com Website: www.cemcon.com

DISC NO.: 456279 FILE NAME: SUBPLAT--L_C3D
DRAWN BY: AJB FLD. BK. / PG. NO.: N/A
COMPLETION DATE: 04-20-26 JOB NO.: 456.279
PROJECT REFERENCE: 456.209 & 456.267
CHECKED BY: JRP 03-12-26
REVISED 06-24-26\AJB PER VILLAGE COMMENTS DATED 06-09-26

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FINAL PLAT OF SUBDIVISION
OF
OAKSTEAD SUBDIVISION
NEIGHBORHOOD J

PART OF THE SOUTHEAST QUARTER OF SECTION 13, TOWNSHIP 42 NORTH, RANGE 6 EAST OF THE THIRD PRINCIPAL MERIDIAN, AND THE SOUTHWEST QUARTER OF SECTION 18, TOWNSHIP 42 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN KANE COUNTY, ILLINOIS.

THIS PLAT WAS SUBMITTED TO THE COUNTY RECORDER FOR THE PURPOSES OF RECORDING BY:

(PRINT NAME)

(ADDRESS)

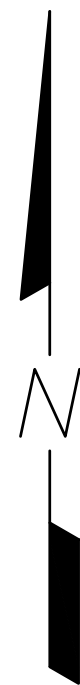
(CITY/TOWN) (STATE) (ZIP CODE)

VILLAGE OF HAMPSHIRE

RESOLUTION NO. 25-_____

RESOLUTION APPROVING A FINAL PLAT OF SUBDIVISION FOR OAKSTEAD SUBDIVISION NEIGHBORHOOD J

SHEET 1 OF 4



100 50 0 100
SCALE: 1 INCH = 100 FEET

TOTAL AREA OF SUBDIVISION

46.380 ACRES

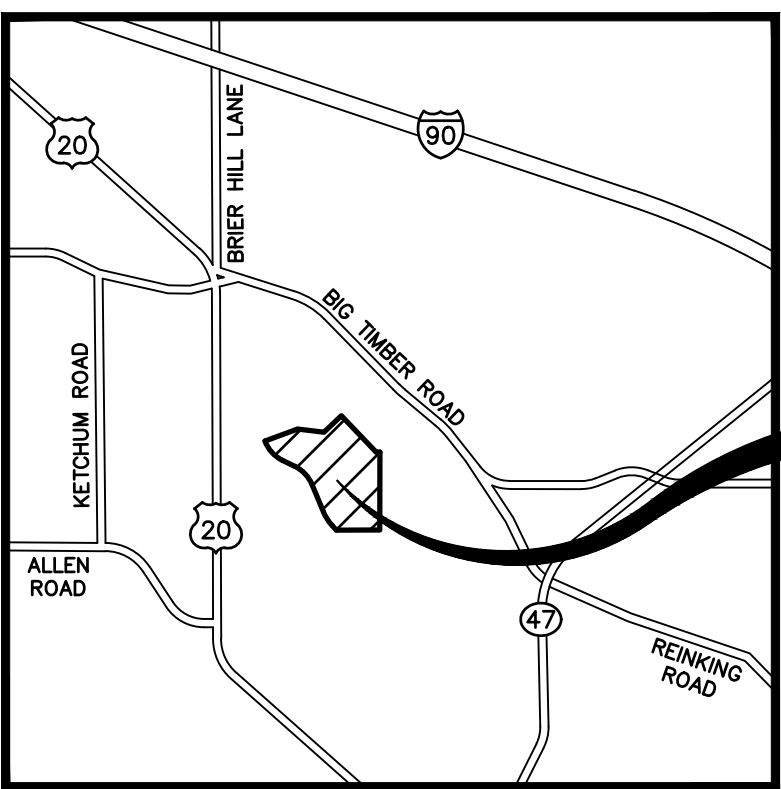
(MORE OR LESS)

PARCEL INDEX NUMBERS

PART OF 01-13-400-006
PART OF 02-18-300-002
HAMPSHIRE, ILLINOIS

LEGEND

- SUBDIVISION BOUNDARY LINE (Heavy Solid Line)
- LOT LINE/PROPERTY LINE (Solid Line)
- ADJACENT LOT LINE/PROPERTY LINE (Light Solid Line)
- BUILDING LINE (Long Dashed Lines)
- EASEMENT LINE/LIMITS OF EASEMENT (Short Dashed Lines)
- CENTERLINE (Single Dashed Lines)
- QUARTER SECTION LINE (Double Dashed Lines)
- SECTION LINE (Triple Dashed Lines)
- SET CONCRETE MONUMENT
- SECTION CORNER OR QUARTER SECTION CORNER



VICINITY MAP

CURVE TABLE				
CURVE	LENGTH	RADIUS	CHORD BEARING	CHORD LENGTH
C1	261.72'	767.00'	N 32°28'13" W	260.46'
C2	417.50'	583.00'	N 43°12'36" W	408.64'
C3	430.48'	567.00'	N 41°58'32" W	420.22'



NOTES

3/4 INCH IRON PIPE SET AT ALL LOT CORNERS AND POINTS OF CURVATURE UNLESS OTHERWISE NOTED.

ALL MEASUREMENTS ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.

DIMENSIONS SHOWN ALONG CURVES ARE ARC DISTANCES.

DIMENSIONS ENCLOSED WITH () ARE RECORD DATA. ALL OTHER DIMENSIONS ARE MEASURED.

ALL EASEMENTS ARE HEREBY GRANTED UNLESS OTHERWISE NOTED.

V.U.E. - INDICATES VILLAGE UTILITY EASEMENT HEREBY GRANTED. SEE PROVISIONS FOR DETAILS.

D.E. - INDICATES DRAINAGE EASEMENT HEREBY GRANTED. SEE PROVISIONS FOR DETAILS.

P.U.E. - INDICATES PUBLIC UTILITY EASEMENT HEREBY GRANTED. SEE PROVISIONS FOR DETAILS.

B.L. - BUILDING SETBACK LINE

THE BEARINGS SHOWN ARE BASED UPON THE WEST LINE OF THE NORTHWEST QUARTER OF SECTION 19-42-7 BEING N 00°07'46" W (ASSUMED).

GAP IN LOT NUMBERING DUE TO THE PREDEFINED LOT NUMBERING WITHIN THE OAKSTEAD DEVELOPMENT.

F.I.P. = FOUND IRON PIPE (P AS SHOWN)
F.I.R. = FOUND IRON ROD (P AS SHOWN)

ALL OUTLOTS TO BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION.

LOT AREA SUMMARY TABLE					
LOT NUMBER	SQ. FT.	LOT NUMBER	SQ. FT.	LOT NUMBER	SQ. FT.
328	9,100	356	9,100	384	10,302
329	9,100	357	9,100	385	9,100
330	9,631	358	9,100	386	9,100
331	9,840	359	9,373	387	9,100
332	9,840	360	10,596	388	9,100
333	9,840	361	10,524	389	10,733
334	9,840	362	10,524	390	9,140
335	9,165	363	10,934	391	10,715
336	9,304	364	11,209	392	10,316
337	9,591	365	10,643	393	9,355
338	11,926	366	10,007	394	9,355
339	12,024	367	10,007	395	9,355
340	12,035	368	10,112	396	9,355
341	10,487	369	15,118	397	9,355
342	12,175	370	13,156	398	9,750
343	12,143	371	13,431	399	12,169
344	10,519	372	14,787	400	9,100
345	9,212	373	14,787	401	9,100
346	9,100	374	13,951	402	9,100
347	9,100	375	9,100	403	9,100
348	9,399	376	9,100	404	9,100
349	9,360	377	11,009	405	10,428
350	9,360	378	10,844	406	14,656
351	10,112	379	10,871	407	10,278
352	11,955	380	11,517	408	10,696
353	11,955	381	12,918	OUTLOT 1	896,128
354	11,626	382	12,701	OUTLOT 2	29,878
355	9,450	383	9,743		



PREPARED BY:
CEMCON, Ltd.

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E-Mail: info@cemcon.com Website: www.cemcon.com

DISC NO.: 456279 FILE NAME: SUBPLAT-J_C3D
DRAWN BY: AJB FLD. BK. / PG. NO.: N/A
COMPLETION DATE: 04-20-26 JOB NO.: 456.279
PROJECT REFERENCE: 456.209 & 456.267

CHECKED BY:
REVISED 06-24-26\AJB PER VILLAGE COMMENTS DATED 06-02-26
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FINAL PLAT OF SUBDIVISION
OF
OAKSTEAD SUBDIVISION
NEIGHBORHOOD J

PART OF THE SOUTHEAST QUARTER OF SECTION 13, TOWNSHIP 42 NORTH, RANGE 6 EAST OF THE THIRD
PRINCIPAL MERIDIAN, AND THE SOUTHWEST QUARTER OF SECTION 18, TOWNSHIP 42 NORTH, RANGE 7 EAST
OF THE THIRD PRINCIPAL MERIDIAN, IN KANE COUNTY, ILLINOIS.

OAKSTEAD SUBDIVISION
NEIGHBORHOOD E
PER DOC. _____



OUTLOT 1
A BLANKET STORMWATER MANAGEMENT EASEMENT,
AND VILLAGE UTILITY EASEMENT
ARE HEREBY GRANTED OVER
ALL OF OUTLOT 1

ROAD
HEREBY DEDICATED

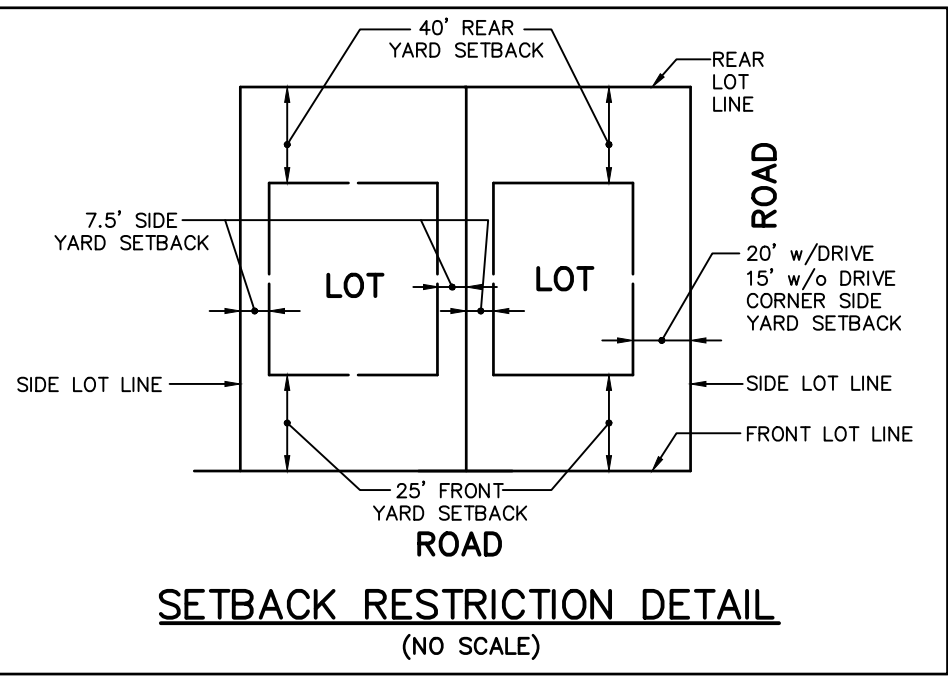
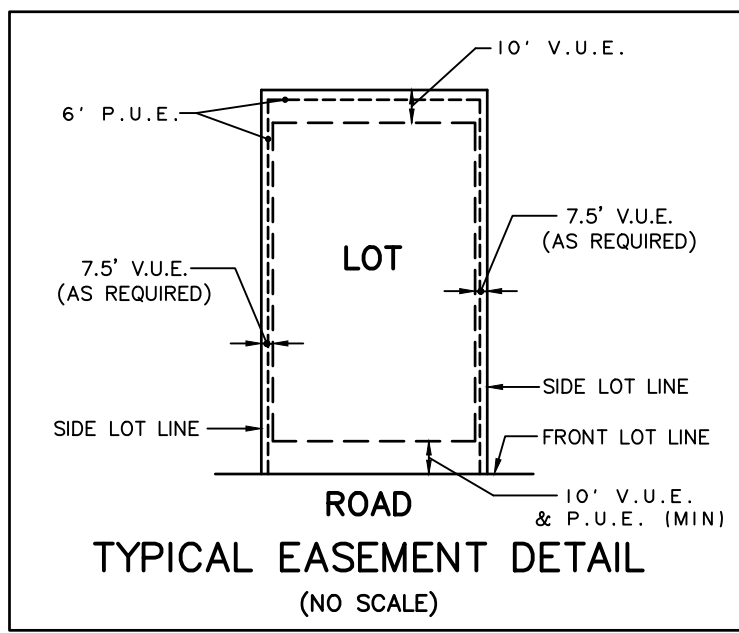
MATCH LINE A-A
SEE SHEET 3

MATCH LINE B-B
SEE SHEET 3

SEE SHEET 3

MATCH LINE A-A

MATCH LINE B-B



LINE TABLE		
LINE	BEARING	LENGTH
L1	S 61°31'57" W	32.44'
L2	S 67°18'19" W	34.19'
L3	S 67°18'19" W	67.12'
L4	S 67°18'19" W	71.96'
L5	S 67°18'19" W	70.00'
L6	S 35°34'51" W	26.39'
L7	N 35°34'51" E	26.39'
L8	S 22°41'41" E	20.32'
L9	S 22°41'41" E	70.00'
L10	S 22°41'41" E	70.00'
L11	S 22°41'41" E	30.00'

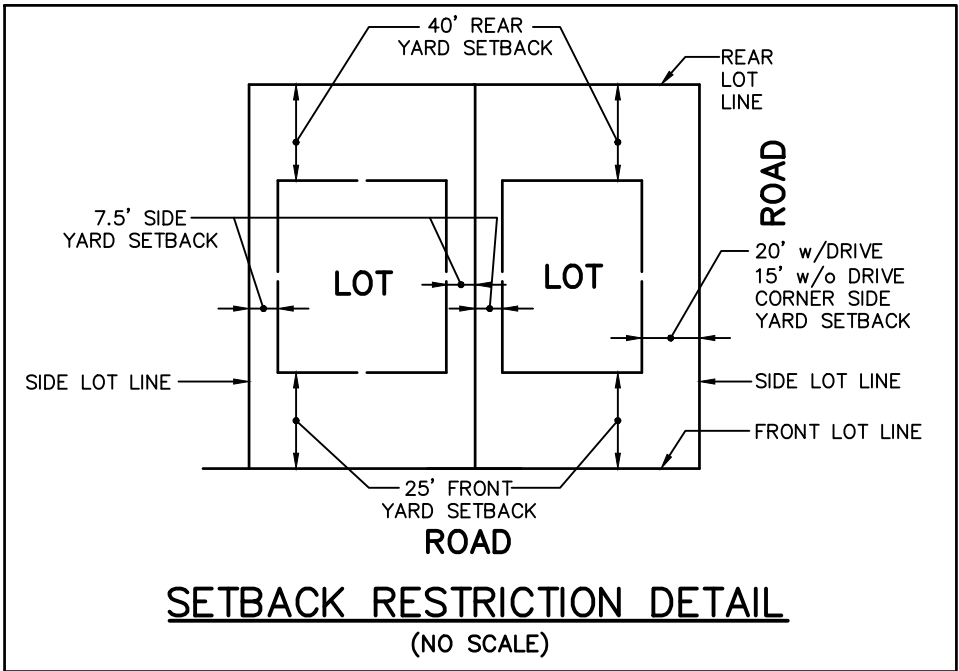
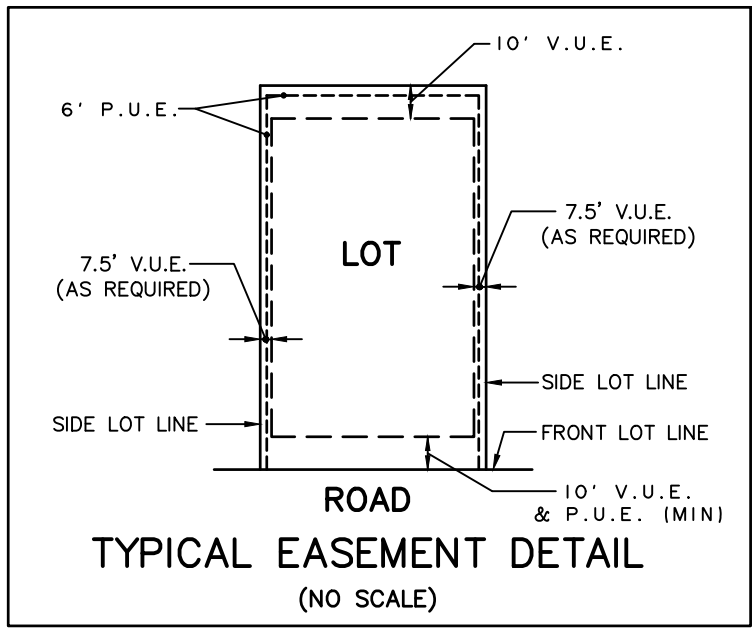
CURVE TABLE			
CURVE	LENGTH	RADIUS	CHORD BEARING
C1	63.48'	630.00'	S 64°25'08" W
C2	60.30'	570.00'	S 25°43'31" E



PREPARED BY:
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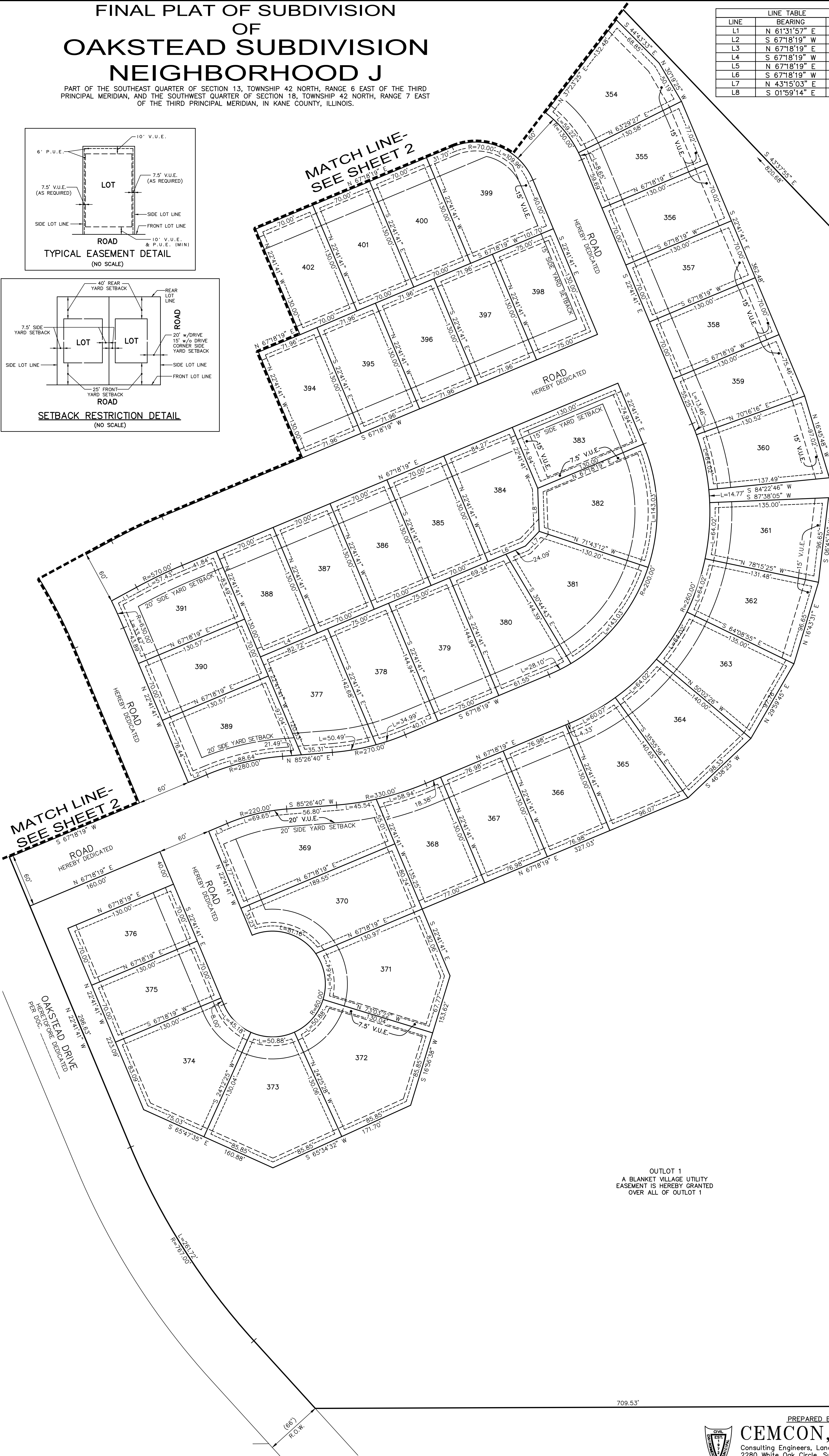
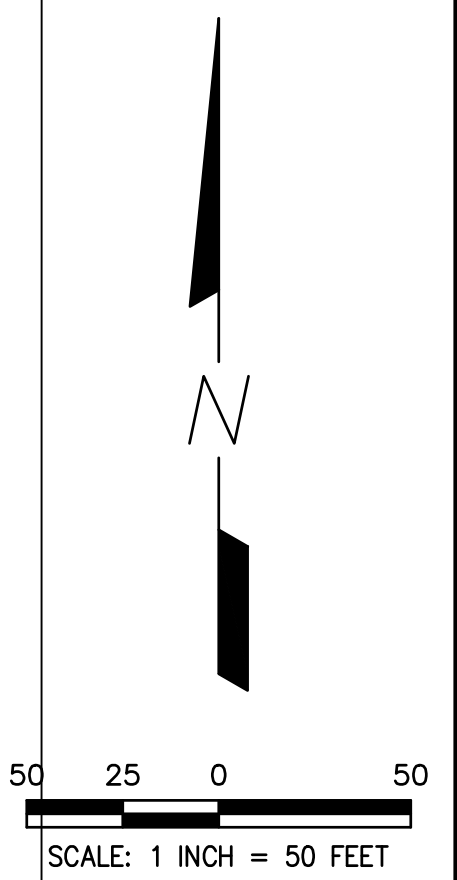
FINAL PLAT OF SUBDIVISION
OF
OAKSTEAD SUBDIVISION
NEIGHBORHOOD J

PART OF THE SOUTHEAST QUARTER OF SECTION 13, TOWNSHIP 42 NORTH, RANGE 6 EAST OF THE THIRD
PRINCIPAL MERIDIAN, AND THE SOUTHWEST QUARTER OF SECTION 18, TOWNSHIP 42 NORTH, RANGE 7 EAST
OF THE THIRD PRINCIPAL MERIDIAN, IN KANE COUNTY, ILLINOIS.



LINE TABLE		
LINE	BEARING	LENGTH
L1	N 61°31'57" E	32.44'
L2	S 67°18'19" W	22.97'
L3	N 67°18'19" E	22.97'
L4	S 67°18'19" W	70.00'
L5	N 67°18'19" E	70.00'
L6	S 67°18'19" W	46.15'
L7	N 43°15'03" E	22.80'
L8	S 01°59'14" E	48.93'

SHEET 3 OF 4



PREPARED BY:
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REVISED 06-24-26\AJB PER VILLAGE COMMENTS DATED 06-02-26
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OWNERSHIP CERTIFICATE

STATE OF ILLINOIS)
 SS
COUNTY OF DUPAGE)

THIS IS TO CERTIFY THAT HAMPSHIRE EAST, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY, IS THE FEE SIMPLE OWNER OF THE PROPERTY DESCRIBED IN THE FOREGOING SURVEYOR'S CERTIFICATE AND HAS CAUSED THE SAME TO BE SURVEYED, SUBDIVIDED, AND PLATTED AS SHOWN HEREON FOR THE USES AND PURPOSES HEREIN SET FORTH AS ALLOWED AND PROVIDED FOR BY STATUTE, AND DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE THEREON INDICATED.

THE UNDERSIGNED HEREBY DEDICATES FOR PUBLIC USE THE LANDS INDICATED ON THIS PLAT AS THOROUGHFARES, STREETS, ALLEYS AND PUBLIC SERVICES; AND HEREBY ALSO RESERVES FOR ANY ELECTRIC, GAS, TELEPHONE, CABLE TV OR OTHER TELECOMMUNICATIONS COMPANY UNDER FRANCHISE AGREEMENT WITH THE VILLAGE OF HAMPSHIRE, THEIR SUCCESSORS AND ASSIGNS, THE EASEMENT PROVISIONS WHICH ARE STATED HEREON.

THE UNDERSIGNED, FURTHER CERTIFIES THAT ALL OF THE LAND INCLUDED IN THIS PLAT LIES WITHIN THE BOUNDARIES OF COMMUNITY UNIT SCHOOL DISTRICT 300.

DATED AT NAPERVILLE, IL DUPAGE COUNTY, ILLINOIS

HAMPSHIRE EAST LLC
1751A WEST DIEHL ROAD
NAPERVILLE, IL 60563

_____	_____
TITLE	TITLE
_____	_____
PRINTED NAME	PRINTED NAME

NOTARY CERTIFICATE

STATE OF ILLINOIS)
 SS
COUNTY OF DUPAGE)

I, _____, A NOTARY PUBLIC IN AND FOR THE COUNTY AND STATE AFORESAID, DO HEREBY CERTIFY THAT _____ AND _____ PERSONALLY KNOWN TO ME TO BE THE PRESIDENT AND SECRETARY OF HAMPSHIRE WEST, LLC, AS SHOWN ABOVE, APPEARED BEFORE ME THIS DAY AND ACKNOWLEDGED THAT AS SUCH OFFICERS, THEY SIGNED AND DELIVERED THE SAID INSTRUMENT AND CAUSED THE CORPORATE SEAL TO BE AFFIXED THERETO AS THEIR FREE AND VOLUNTARY ACT AND AS THE FREE AND VOLUNTARY ACT OF SAID CORPORATION, FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARIAL SEAL

THIS ____ DAY OF _____, 20____

NOTARY PUBLIC

SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS)
 SS.
COUNTY OF DUPAGE)

THIS IS TO CERTIFY THAT I, JEFFREY R. PANKOW, ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3483, AT THE REQUEST OF THE OWNER(S) THEREOF, HAVE SURVEYED, SUBDIVDED AND PLATTED THE FOLLOWING DESCRIBED PROPERTY:

THAT PART OF THE SOUTHEAST QUARTER OF SECTION 13, TOWNSHIP 42 NORTH, RANGE 6 EAST AND THE SOUTHWEST QUARTER OF SECTION 18, TOWNSHIP 42 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:
COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 18; THENCE SOUTH 89 DEGREES 58 MINUTES 54 SECONDS EAST, 239.03 FEET ALONG THE SOUTH LINE OF SAID SOUTHWEST QUARTER TO THE NORTHEASTERLY LINE OF OAKSTEAD DRIVE AS DEDICATED PER DOCUMENT _____; THENCE NORTH 42 DEGREES 14 MINUTES 45 SECONDS WEST, 60.34 FEET ALONG SAID NORTHEASTERLY LINE TO THE POINT OF BEGINNING; THE FOLLOWING SIX COURSES ARE ALONG SAID NORTHEASTERLY LINE; 1) THENCE NORTH 42 DEGREES 14 MINUTES 45 SECONDS WEST, 103.75 FEET; 2) THENCE NORTHERLY, 261.72 FEET ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 767.00 FEET AND A CHORD BEARING NORTH 32 DEGREES 28 MINUTES 13 SECONDS WEST; 3) THENCE NORTH 22 DEGREES 41 MINUTES 41 SECONDS WEST, 482.22 FEET; 4) THENCE NORTHERLY, 417.50 FEET ALONG A CURVE TO THE LEFT, HAVING A RADIUS OF 583.00 FEET AND A CHORD BEARING NORTH 43 DEGREES 12 MINUTES 36 SECONDS WEST; 5) THENCE NORTH 63 DEGREES 43 MINUTES 32 SECONDS WEST, 230.83 FEET; 6) THENCE NORTHWESTERLY, 430.48 FEET ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 567.00 FEET AND A CHORD BEARING NORTH 41 DEGREES 58 MINUTES 32 SECONDS WEST TO THE SOUTHERLY LINE OF OUTLOT 14 IN OAKSTEAD SUBDIVISION NEIGHBORHOOD E RECORDED AS DOCUMENT _____, THE FOLLOWING TWO COURSES ARE ALONG SAID SOUTHERLY LINE; 1) THENCE NORTH 69 DEGREES 46 MINUTES 29 SECONDS EAST, 565.18 FEET; 2) THENCE SOUTH 83 DEGREES 01 MINUTE 00 SECONDS EAST, 434.50 FEET TO THE SOUTHEASTERLY LINE OF A TRACT DESCRIBED IN A WARRANTY DEED RECORDED AS DOCUMENT 2020K064438; THENCE NORTH 46 DEGREES 22 MINUTES 05 SECONDS EAST, 393.05 FEET ALONG SAID SOUTHEASTERLY LINE; THENCE SOUTH 43 DEGREES 37 MINUTES 55 SECONDS EAST, 820.68 FEET TO THE SOUTH LINE OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 18; THENCE SOUTH 89 DEGREES 56 MINUTES 24 SECONDS EAST, 61.92 FEET ALONG SAID SOUTH LINE; THENCE SOUTH 00 DEGREES 03 MINUTES 36 MINUTES WEST, 1270.87 FEET; THENCE SOUTH 89 DEGREES 47 MINUTES 00 SECONDS WEST, 709.53 FEET TO THE POINT OF BEGINNING, IN KANE COUNTY, ILLINOIS.

I FURTHER CERTIFY THAT THE PLAT HEREON DRAWN WAS PREPARED IN ACCORDANCE WITH THE PLAT ACT AND THE ILLINOIS ADMINISTRATIVE CODE, SECTION 1270.56 MINIMUM STANDARDS OF PRACTICE. ALL DISTANCES ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.

I FURTHER CERTIFY THAT NO PART OF THE ABOVE-DESCRIBED PROPERTY IS LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA AS IDENTIFIED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY BASED ON FIRM 17089C0130J, DATED JUNE 2, 2015, ALL OF THE PROPERTY IS IN ZONE X, AREAS OF MINIMAL FLOODING.

I FURTHER CERTIFY THAT ALL SUBDIVISION MONUMENTS WILL BE SET, AND I HAVE DESCRIBED THEM ON THIS FINAL PLAT AS REQUIRED BY THE PLAT ACT (765 ILCS 205/). THE EXTERIOR SUBDIVISION MONUMENTS HAVE BEEN SET AND INTERIOR MONUMENTS WILL BE SET WITHIN 12 MONTHS OF THE RECORDING OF THIS PLAT (SECTION 1270-56 OF THE ILLINOIS PROFESSIONAL LAND SURVEYOR ACT OF 1989).

I FURTHER CERTIFY THAT THE PROPERTY SHOWN ON THE PLAT HEREON DRAWN IS SITUATED WITHIN THE CORPORATE LIMITS OF THE VILLAGE OF HAMPSHIRE, ILLINOIS, WHICH IS EXERCISING THE SPECIAL POWERS AUTHORIZED BY DIVISION 12 OF ARTICLE 11 OF THE ILLINOIS MUNICIPAL CODE AS AMENDED.

GIVEN UNDER MY HAND AND SEAL AT AURORA, ILLINOIS,

THIS ____TH DAY OF _____, 20____

ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3483
MY REGISTRATION EXPIRES ON NOVEMBER 30, 2026
PROFESSIONAL DESIGN FIRM LICENSE NO. 184-002937
EXPIRATION DATE IS APRIL 30, 2027

FINAL PLAT OF SUBDIVISION
OF
OAKSTEAD SUBDIVISION
NEIGHBORHOOD J

PART OF THE SOUTHEAST QUARTER OF SECTION 13, TOWNSHIP 42 NORTH, RANGE 6 EAST OF THE THIRD PRINCIPAL MERIDIAN, AND THE SOUTHWEST QUARTER OF SECTION 18, TOWNSHIP 42 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN KANE COUNTY, ILLINOIS.

VILLAGE ENGINEER'S CERTIFICATE

STATE OF ILLINOIS)
 SS
COUNTY OF KANE)

I, _____, VILLAGE ENGINEER FOR THE VILLAGE OF HAMPSHIRE, DO HEREBY CERTIFY THAT THE REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED OR THE REQUIRED GUARANTEE COLLATERAL HAS BEEN POSTED FOR THE COMPLETION OF ALL REQUIRED IMPROVEMENTS.

DATED AT HAMPSHIRE, ILLINOIS THIS ____ DAY OF _____, 20____

VILLAGE ENGINEER

KANE COUNTY CLERK'S CERTIFICATE

STATE OF ILLINOIS)
 SS.
COUNTY OF KANE)

I, _____, COUNTY CLERK OF KANE COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT GENERAL TAXES, NO UNPAID CURRENT TAXES, NO UNPAID FORFEITED TAXES, AND NO REDEEMABLE TAX SALES AGAINST ANY OF THE LAND IN THE PLAT HEREIN DRAWN. I FURTHER CERTIFY THAT I HAVE RECEIVED ALL STATUTORY FEES IN CONNECTION WITH THE ANNEXED PLAT.

GIVEN UNDER MY HAND AND SEAL OF THE COUNTY CLERK AT GENEVA, ILLINOIS, THIS ____ DAY OF _____, A.D., 20____.

COUNTY CLERK

VILLAGE COLLECTOR'S CERTIFICATE

STATE OF ILLINOIS)
 SS
COUNTY OF KANE)

I, _____, VILLAGE COLLECTOR OF THE VILLAGE OF HAMPSHIRE, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT OR UNPAID CURRENT OR FORFEITED SPECIAL ASSESSMENTS OR ANY DEFERRED INSTALLMENTS THEREOF THAT HAVE BEEN APPORTIONED AGAINST THE TRACT OF LAND INCLUDED IN THIS PLAT.

DATED AT HAMPSHIRE, KANE COUNTY, ILLINOIS.

THIS ____ DAY OF _____, 20____

VILLAGE COLLECTOR

VILLAGE BOARD CERTIFICATE

STATE OF ILLINOIS)
 SS
COUNTY OF KANE)

APPROVED BY THE PRESIDENT AND THE BOARD OF TRUSTEES OF THE VILLAGE OF HAMPSHIRE, ILLINOIS,

THIS ____ DAY OF _____, 20____

VILLAGE PRESIDENT: _____

ATTEST: _____

STORMWATER MANAGEMENT EASEMENT PROVISIONS

AN EASEMENT IS HEREBY RESERVED FOR AND GRANTED TO THE VILLAGE OF HAMPSHIRE AND TO ITS SUCCESSORS AND ASSIGNS, OVER ALL OF THE AREAS MARKED "STORMWATER MANAGEMENT EASEMENT" (abbreviated S.M.E.) ON THE PLAT FOR THE PERPETUAL RIGHT, PRIVILEGE, AND AUTHORITY TO SURVEY, CONSTRUCT, RECONSTRUCT, REPAIR, INSPECT, MAINTAIN AND OPERATE STORM SEWERS AND THE STORMWATER MANAGEMENT AREA, TOGETHER WITH ANY AND ALL NECESSARY MANHOLES, CATCH BASINS, SANITARY SEWERS, WATER MAINS, ELECTRIC AND COMMUNICATION CABLES, CONNECTIONS, DITCHES, SWALES, AND OTHER STRUCTURES AND APPURTENANCES AS MAY BE DEEMED NECESSARY BY SAID VILLAGE, OVER, UPON, ALONG, UNDER AND THROUGH SAID INDICATED EASEMENT, TOGETHER WITH THE RIGHT OF ACCESS ACROSS THE PROPERTY FOR NECESSARY MEN AND EQUIPMENT TO DO ANY OF THE ABOVE WORK. THE RIGHT IS ALSO GRANTED TO CUT DOWN, TRIM OR REMOVE ANY TREES, SHRUBS OR OTHER PLANTS ON THE EASEMENT THAT INTERFERE WITH THE OPERATION OF SEWERS OR OTHER UTILITIES. NO PERMANENT BUILDINGS SHALL BE PLACED ON SAID EASEMENT, NO CHANGE TO THE TOPOGRAPHY OR STORMWATER MANAGEMENT STRUCTURES WITHIN THE EASEMENT AREA SHALL BE MADE WITHOUT EXPRESS WRITTEN CONSENT OF THE VILLAGE ENGINEER, BUT SAME MAY BE USED FOR PURPOSES THAT DO NOT THEN OR LATER INTERFERE WITH THE AFORESAID USES OR RIGHTS.

THE OWNER OF THE PROPERTY SHALL REMAIN RESPONSIBLE FOR THE MAINTENANCE OF THE STORMWATER MANAGEMENT AREA AND APPURTENANCES. THE VILLAGE OF HAMPSHIRE WILL PERFORM ONLY EMERGENCY PROCEDURES AS DEEMED NECESSARY BY THE VILLAGE ENGINEER OF THE VILLAGE OF HAMPSHIRE.

GENERAL PROVISIONS COMMON TO ALL EASEMENTS:

NO FENCE, SHED OR ANY STRUCTURE SHALL BE ERRECTED WITHIN AN EASEMENT THAT WILL OBSTRUCT OR PROHIBIT THE OVERLAND FLOW OF STORMWATER, OR OBSTRUCT, IMPEDE, OR PRECLUDE READY ACCESS TO ANY UTILITY FACILITY OR APPURTENANCE, SUCH AS AN EQUIPMENT BOX, A CATCH BASIN, OR ANY OTHER SUCH FACILITY OR APPURTENANCE.

THE VILLAGE OF HAMPSHIRE AND ITS REPRESENTATIVES SHALL, AT THEIR SOLE DISCRETION, REQUIRE ANY FENCE, STRUCTURE OR OTHER OBSTRUCTION THAT IS ERRECTED WITHIN A PUBLIC UTILITY EASEMENT, VILLAGE UTILITY EASEMENT, UTILITY EASEMENT, DRAINAGE EASEMENT OR EASEMENT FOR STORMWATER DETENTION BASIN, BE REMOVED AT NO COST TO THE VILLAGE. THE COST OF REMOVAL AND REPLACEMENT OF ANY OBSTRUCTION SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER.

PUBLIC UTILITY EASEMENT PROVISIONS
(ELECTRIC AND COMMUNICATION)

COMMONWEALTH EDISON COMPANY, AMERITECH, MEDIACOM, AND OTHER UTILITY COMPANIES PROVIDING ELECTRIC AND COMMUNICATION SERVICES, THEIR RESPECTIVE SUCCESSORS AND ASSIGNS, JOINTLY OR SEVERALLY ARE HEREBY GIVEN EASEMENT RIGHTS TO ALL PLATTED EASEMENTS DESIGNATED "PUBLIC UTILITY EASEMENTS" AND JOINTLY WITH VILLAGE UTILITIES TO ALL PLATTED EASEMENTS DESIGNATED "UTILITY EASEMENTS" TOGETHER WITH THE RIGHT OF ACCESS THERETO AND TO ALL PLATTED STREETS AND ALLEYS TO INSTALL, OPERATE, MAINTAIN AND REMOVE, FROM TIME TO TIME, FACILITIES USED IN CONNECTION WITH THE TRANSMISSION AND DISTRIBUTION OF ELECTRICITY AND SOUNDS AND SIGNALS, TOGETHER WITH THE RIGHT TO INSTALL REQUIRED SERVICE CONNECTIONS TO SERVE THE IMPROVEMENTS OF EACH LOT, THE RIGHT TO CUT DOWN AND REMOVE OR TRIM AND KEEP TRIMMED ANY TREES, SHRUBS OR SAPLINGS THAT INTERFERE OR THREATEN TO INTERFERE WITH ANY OF SAID PUBLIC UTILITY EQUIPMENT. THE LOCATION OF FACILITIES IN PLATTED STREETS AND ALLEYS SHALL NOT CONFLICT WITH PUBLIC IMPROVEMENTS AND SHALL BE SUBJECT TO VILLAGE APPROVAL. NO PERMANENT BUILDINGS OR TREES SHALL BE PLACED ON SAID EASEMENT, BUT SAME MAY BE USED FOR GARDENS, SHRUBS, LANDSCAPING AND OTHER PURPOSES THAT DO NOT THEN OR LATER INTERFERE WITH THE AFORESAID USES OR THE RIGHTS HEREIN GRANTED. ALL UTILITY LINES SHALL BE CONSTRUCTED UNDERGROUND. NO OVERHEAD LINES WILL BE PERMITTED.

PUBLIC UTILITY EASEMENT PROVISIONS
(NICOR)

NICOR, ITS SUCCESSOR AND ASSIGNS, IS HEREBY GIVEN EASEMENT RIGHTS TO ALL PLATTED STREETS AND ALLEYS. SAID EASEMENT TO BE FOR THE INSTALLATION, RELOCATION, RENEWAL AND REMOVAL OF GAS MAINS AND APPURTENANCES. LOCATION OF MAINS AND APPURTENANCES SHALL NOT CONFLICT WITH PUBLIC IMPROVEMENTS AND SHALL BE SUBJECT TO VILLAGE APPROVAL.

DRAINAGE EASEMENT PROVISIONS

THE VILLAGE OF HAMPSHIRE IS HEREBY GIVEN EASEMENT RIGHTS TO ALL PLATTED EASEMENTS DESIGNATED "DRAINAGE EASEMENT" OR "DE" TO INSTALL, OPERATE AND MAINTAIN UNDERGROUND AND SURFACE DRAINAGE FACILITIES AND WATERCOURSES. SAID EASEMENTS SHALL BE USED FOR NO OTHER PURPOSE EXCEPT AS EXPRESSLY AUTHORIZED BY THE VILLAGE. NO PERMANENT BUILDINGS SHALL BE PLACED ON SAID EASEMENT, BUT SAME MAY BE USED FOR GARDENS, SHRUBS, LANDSCAPING AND OTHER PURPOSES THAT DO NOT THEN OR LATER INTERFERE WITH THE AFORESAID USES OR THE RIGHTS HEREIN GRANTED.

VILLAGE UTILITY EASEMENT PROVISIONS

THE VILLAGE OF HAMPSHIRE IS HEREBY GIVEN EASEMENT RIGHTS TO ALL PLATTED EASEMENTS DESIGNATED "VILLAGE UTILITY EASEMENT", TOGETHER WITH THE RIGHT OF ACCESS THERETO. SAID EASEMENTS SHALL BE USED SOLELY TO INSTALL, OPERATE, MAINTAIN AND REMOVE FROM TIME TO TIME, ABOVE GROUND AND UNDERGROUND FACILITIES AND APPURTENANCES USED IN CONNECTION WITH THE WATER SYSTEM, SANITARY SEWER SYSTEM AND STORM DRAINAGE SYSTEM OF THE VILLAGE OF HAMPSHIRE. THESE EASEMENTS MAY BE GRADED AS SWALES TO RECEIVE LOCAL SURFACE DRAINAGE. NO PERMANENT BUILDING SHALL BE PLACED ON SAID EASEMENT, BUT THE SAME MAY BE USED FOR GARDENS, SHRUBS, LANDSCAPING AND OTHER PURPOSES THAT DO NOT THEN OR LATER INTERFERE WITH THE AFORESAID USES OR RIGHTS HEREIN GRANTED. TREES SHALL ONLY BE ALLOWED TO BE PLACED IN SUCH LOCATIONS IN THE EASEMENT AS ARE APPROVED BY THE VILLAGE STAFF TO AVOID ACTUAL CONFLICTS WITH UTILITIES.

THE VILLAGE OF HAMPSHIRE AND ITS REPRESENTATIVES SHALL, AT THEIR SOLE DISCRETION, REQUIRE ANY FENCE, STRUCTURE OR OTHER OBSTRUCTION THAT IS ERRECTED WITHIN A VILLAGE UTILITY EASEMENT, BE REMOVED AT NO COST TO THE VILLAGE, THE COST OF REMOVAL AND REPLACEMENT OF ANY OBSTRUCTION AND ANY OTHER VILLAGE EXPENSES ASSOCIATED THERewith SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER OF THE PROPERTY UPON WHICH THE EASEMENT OBSTRUCTION IS LOCATED.

THE VILLAGE SHALL HAVE NO OBLIGATION WITH RESPECT TO SURFACE RESTORATION, INCLUDING BUT NOT LIMITED TO, THE LAWN OR SHRUBBERY; PROVIDED, HOWEVER, THAT THE VILLAGE SHALL BE OBLIGATED FOLLOWING MAINTENANCE WORK TO 1) STABILIZE ALL SURFACES (IN ANY MANNER SUITABLE TO THE VILLAGE) SO AS TO RETAIN SUITABLE DRAINAGE, 2) TO REMOVE ALL EXCESS DEBRIS AND SPOIL AND 3) TO LEAVE THE MAINTENANCE AREA IN A GENERALLY CLEAN AND WORKMANLIKE CONDITION.

PREPARED BY:



CEMCON, Ltd.

Consulting Engineers, Land Surveyors & Planners
2280 White Oak Circle, Suite 100 Aurora, Illinois
60502-9675 PH: 630.862.2100 FAX: 630.862.2199
E-Mail: info@cemcon.com Website: www.cemcon.com

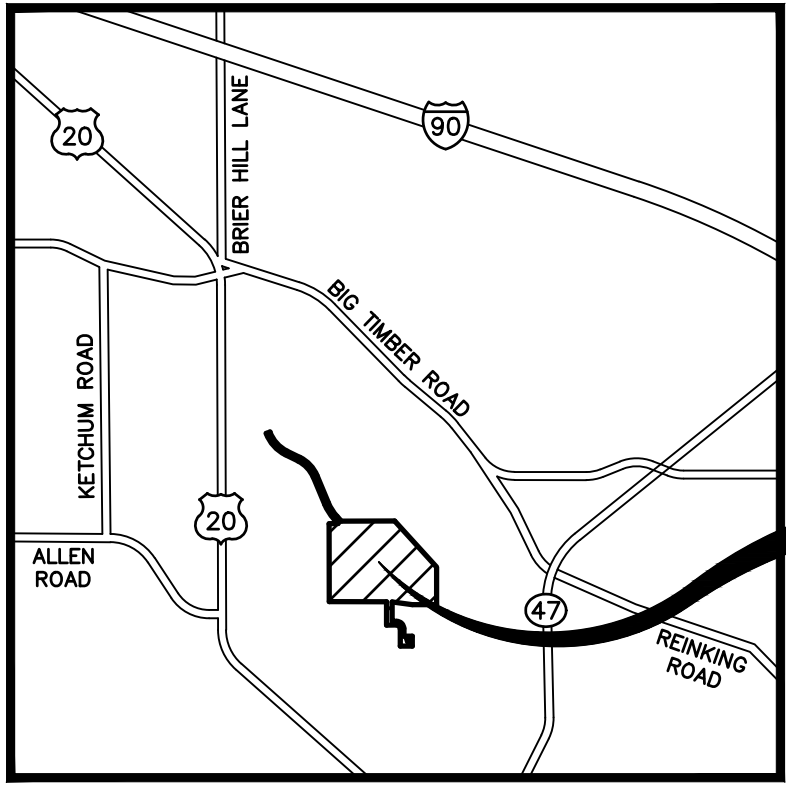
DISC NO.: 456279 FILE NAME: SUBPLAT-J_C3D
DRAWN BY: AJB FLD. BK. / PG. NO.: N/A
COMPLETION DATE: 04-20-26 JOB NO.: 456.279
PROJECT REFERENCE: 456.209 & 456.267

CHECKED BY:
REVISED 06-24-26\AJB PER VILLAGE COMMENTS DATED 06-02-26

FINAL PLAT OF SUBDIVISION
OF
OAKSTEAD SUBDIVISION
NEIGHBORHOOD K

PART OF THE SOUTHEAST QUARTER OF SECTION 13, TOWNSHIP 42 NORTH, RANGE 6 EAST OF
THE THIRD PRINCIPAL MERIDIAN, THE SOUTHWEST QUARTER OF SECTION 18 AND THE
NORTHWEST QUARTER OF SECTION 19, TOWNSHIP 42 NORTH, RANGE 7
EAST OF THE THIRD PRINCIPAL MERIDIAN,
IN KANE COUNTY, ILLINOIS.

SHEET 1 OF 6



VICINITY MAP

SITE
LOCATION

THIS PLAT WAS SUBMITTED TO THE COUNTY
RECORDER FOR THE PURPOSES OF RECORDING BY:

(PRINT NAME)

(ADDRESS)

(CITY/TOWN) (STATE) (ZIP CODE)

VILLAGE OF HAMPSHIRE
RESOLUTION NO. 25-
RESOLUTION APPROVING A FINAL PLAT OF
SUBDIVISION FOR OAKSTEAD SUBDIVISION NEIGHBORHOOD K

200 100 0 200
SCALE: 1 INCH = 200 FEET

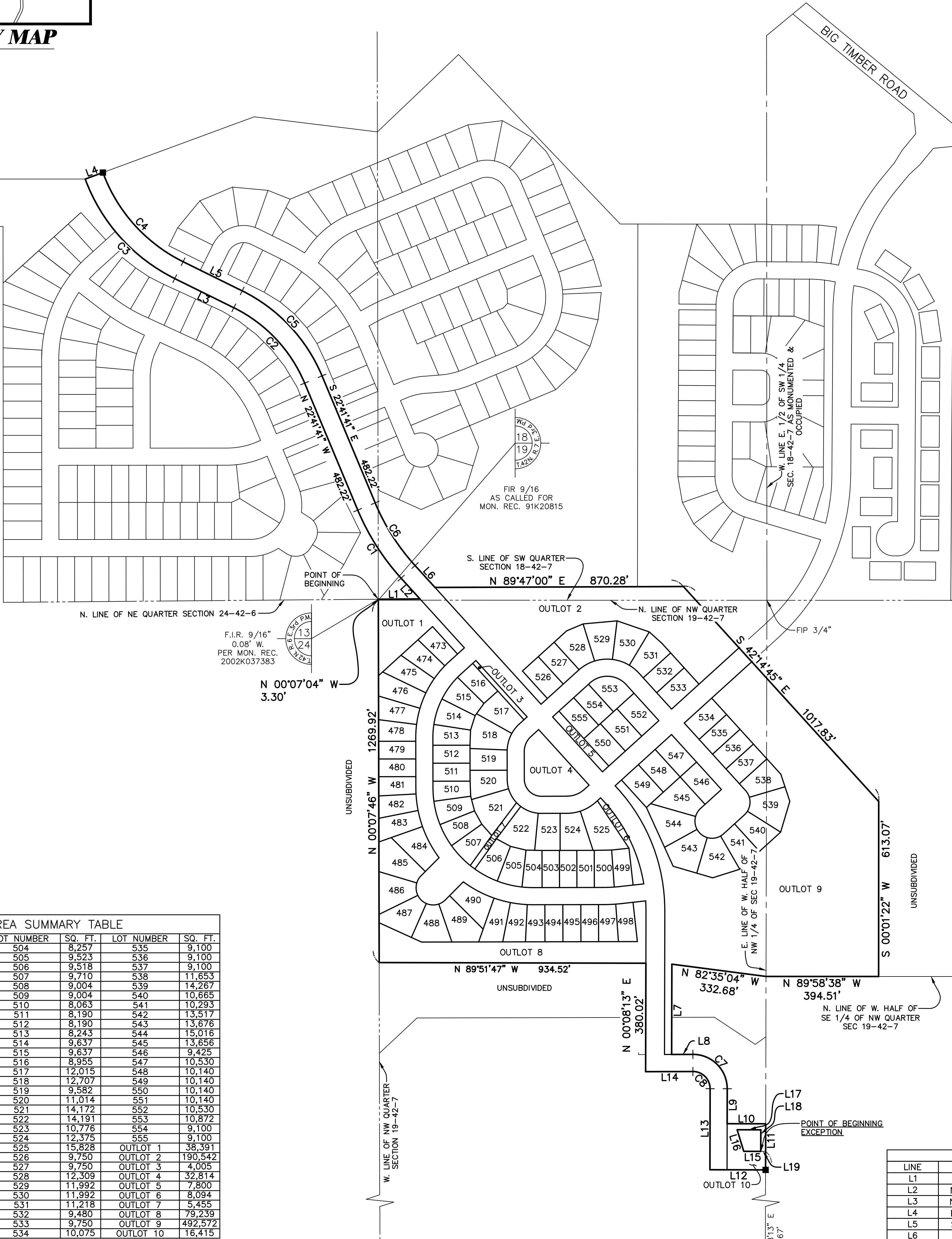
TOTAL AREA OF SUBDIVISION

52.332 ACRES
(MORE OR LESS)

PARCEL INDEX NUMBERS

PART OF 01-13-400-006
PART OF 02-18-300-002
PART OF 02-19-100-003
PART OF 02-19-100-004
HAMPSHIRE, ILLINOIS

U.S. ROUTE 20



LOT AREA SUMMARY TABLE

LOT NUMBER	SQ. FT.	LOT NUMBER	SQ. FT.	LOT NUMBER	SQ. FT.
473	8,414	504	8,257	535	9,100
474	9,352	505	9,523	536	9,100
475	10,871	506	9,518	537	9,100
476	11,757	507	9,710	538	11,653
477	9,831	508	9,004	539	14,267
478	8,823	509	9,004	540	10,665
479	8,060	510	8,063	541	10,293
480	8,060	511	8,190	542	13,517
481	8,333	512	8,190	543	13,676
482	9,161	513	8,243	544	15,016
483	10,387	514	9,637	545	13,656
484	11,146	515	9,637	546	9,425
485	14,809	516	8,955	547	10,530
486	13,037	517	12,015	548	10,140
487	14,553	518	12,707	549	10,140
488	12,685	519	9,582	550	10,140
489	14,945	520	11,014	551	10,140
490	11,583	521	14,172	552	10,530
491	10,592	522	14,191	553	10,872
492	9,313	523	10,776	554	9,100
493	8,459	524	12,375	555	9,100
494	8,190	525	15,828	OUTLOT 1	38,391
495	8,190	526	9,750	OUTLOT 2	190,542
496	8,060	527	9,750	OUTLOT 3	4,005
497	8,456	528	12,309	OUTLOT 4	32,814
498	8,567	529	11,992	OUTLOT 5	7,800
499	8,284	530	11,992	OUTLOT 6	8,094
500	8,539	531	11,218	OUTLOT 7	5,455
501	7,930	532	9,480	OUTLOT 8	79,239
502	7,930	533	9,750	OUTLOT 9	492,572
503	7,930	534	10,075	OUTLOT 10	16,415

FOUND MAGNETIC NAIL
(0.06' N. & 0.32' W.)

FIP 3/4"
3.4' E. & ON LINE
PER DOC. 2002K037385

LINE	BEARING	LENGTH
L1	N 89°31'17" E	145.71'
L2	N 42°14'45" W	97.95'
L3	N 63°43'32" W	230.83'
L4	N 69°46'29" E	66.00'
L5	S 63°43'32" E	230.83'
L6	S 42°14'45" E	103.75'
L7	S 00°08'13" W	316.41'
L8	N 89°52'14" E	74.44'
L9	S 00°08'13" W	122.46'
L10	S 89°51'47" E	135.00'
L11	S 00°08'13" W	161.45'
L12	N 89°51'47" W	195.00'
L13	N 00°08'13" E	283.92'
L14	S 89°52'14" W	165.72'
L15	N 89°51'47" W	59.61'
L16	N 17°01'59" W	79.02'
L17	S 89°51'47" E	82.94'
L18	S 00°08'13" W	75.50'
L19	N 89°51'47" W	17.00'

CURVE	LENGTH	RADIUS	CHORD BEARING	CHORD LENGTH
C1	284.25'	833.00'	N 32°28'13" W	282.87'
C2	370.24'	517.00'	N 43°12'36" W	362.38'
C3	480.59'	633.00'	N 41°58'32" W	469.13'
C4	430.48'	567.00'	S 41°58'32" E	420.22'
C5	417.50'	583.00'	S 43°12'36" E	408.64'
C6	261.72'	767.00'	S 32°28'13" E	260.46'
C7	189.05'	120.00'	S 44°59'46" E	170.10'
C8	94.53'	60.00'	N 44°59'46" W	85.05'

NOTES

3/4 INCH IRON PIPE SET AT ALL LOT CORNERS AND
POINTS OF CURVATURE UNLESS OTHERWISE NOTED.

ALL MEASUREMENTS ARE SHOWN IN FEET AND
DECIMAL PARTS THEREOF.

DIMENSIONS SHOWN ALONG CURVES ARE ARC
DISTANCES.

DIMENSIONS ENCLOSED WITH () ARE RECORD
DATA. ALL OTHER DIMENSIONS ARE MEASURED.

ALL EASEMENTS ARE HEREBY GRANTED UNLESS
OTHERWISE NOTED.

V.U.E. - INDICATES VILLAGE UTILITY EASEMENT
HEREBY GRANTED. SEE PROVISIONS FOR
DETAILS.

D.E. - INDICATES DRAINAGE EASEMENT HEREBY
GRANTED. SEE PROVISIONS FOR DETAILS.

P.U.E. - INDICATES PUBLIC UTILITY EASEMENT
HEREBY GRANTED. SEE PROVISIONS FOR
DETAILS.

B.L. - BUILDING SETBACK LINE

THE BEARINGS SHOWN ARE BASED UPON THE WEST
LINE OF THE NORTHWEST QUARTER OF SECTION
19-42-7 BEING N 00°07'46" W (ASSUMED).

GAP IN LOT NUMBERING DUE TO THE PREDEFINED
LOT NUMBERING WITHIN THE OAKSTEAD
DEVELOPMENT.

F.I.P. = FOUND IRON PIPE (P AS SHOWN)
F.I.R. = FOUND IRON ROD (P AS SHOWN)

ALL OUTLOTS TO BE OWNED AND MAINTAINED BY
THE HOMEOWNERS ASSOCIATION.

LEGEND

- SUBDIVISION BOUNDARY LINE
(Heavy Solid Line)
- LOT LINE/PROPERTY LINE
(Solid Line)
- ADJACENT LOT LINE/PROPERTY LINE
(Light Solid Line)
- BUILDING LINE
(Long Dashed Lines)
- EASEMENT LINE/LIMITS OF EASEMENT
(Short Dashed Lines)
- CENTERLINE
(Single Dashed Lines)
- QUARTER SECTION LINE
(Double Dashed Lines)
- SECTION LINE
(Triple Dashed Lines)
- SET CONCRETE MONUMENT
- SECTION CORNER OR QUARTER SECTION
CORNER

FOUND PK NAIL
PER DOC. 2002K037383

PREPARED BY:
HAMPshire EAST, LLC
1751 A. WEST DIEHL ROAD
NAPERVILLE, IL 60563
(630) 851-5490

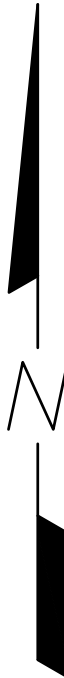
PREPARED BY:
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60502-9675 PH: 630.862.2100 FAX: 630.862.2199
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CHECKED BY: JRP 02-25-26
REVISED 06-24-26/AJB PER VILLAGE COMMENTS DATED 06-02-26
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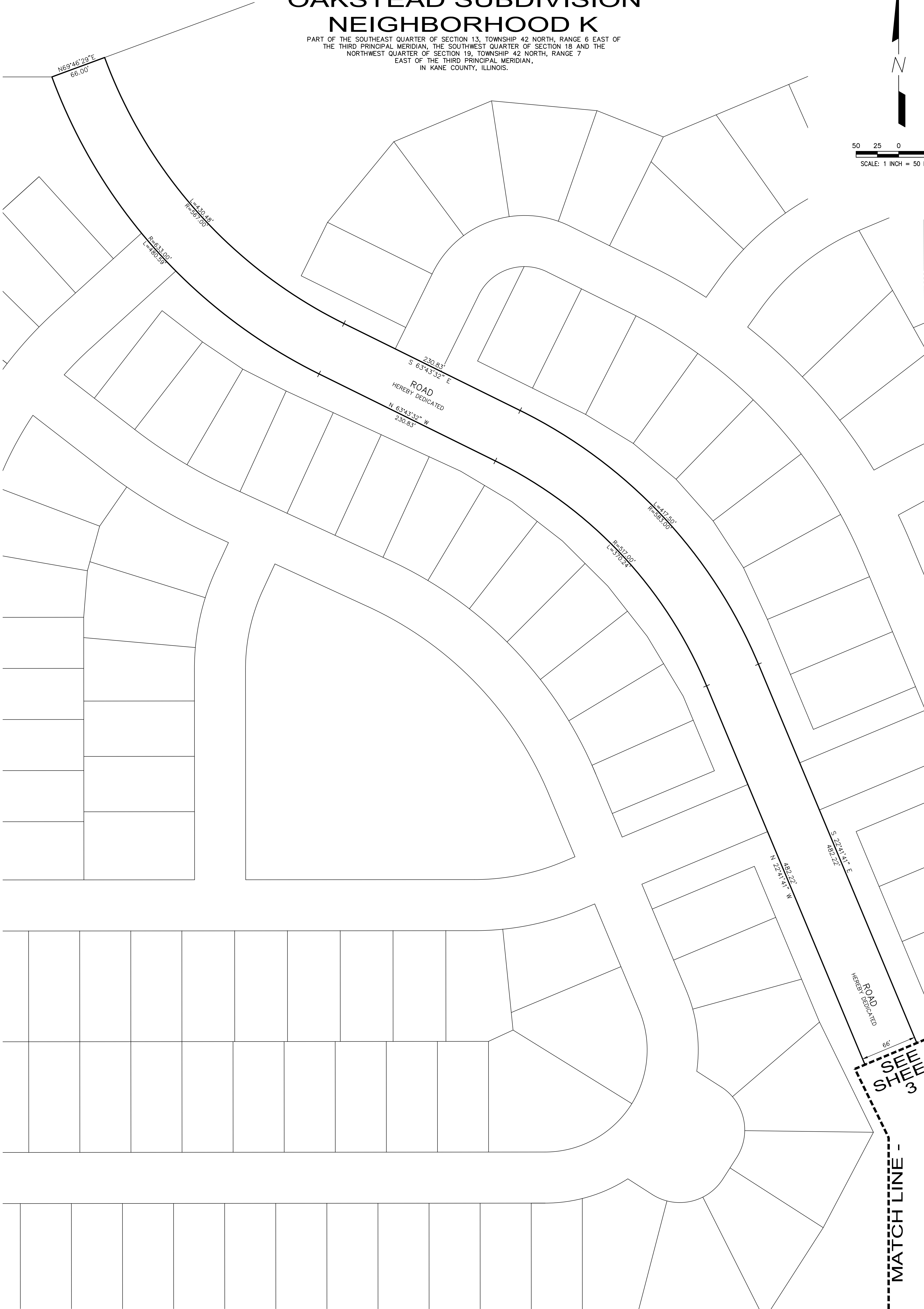
FINAL PLAT OF SUBDIVISION
OF
OAKSTEAD SUBDIVISION
NEIGHBORHOOD K

PART OF THE SOUTHEAST QUARTER OF SECTION 13, TOWNSHIP 42 NORTH, RANGE 6 EAST OF
THE THIRD PRINCIPAL MERIDIAN, THE SOUTHWEST QUARTER OF SECTION 18 AND THE
NORTHWEST QUARTER OF SECTION 19, TOWNSHIP 42 NORTH, RANGE 7
EAST OF THE THIRD PRINCIPAL MERIDIAN,
IN KANE COUNTY, ILLINOIS.

SHEET 2 OF 6



50 25 0 50
SCALE: 1 INCH = 50 FEET



SEE
SHEET
3

MATCH LINE -



PREPARED BY:
CEMCON, Ltd.

Consulting Engineers, Land Surveyors & Planners
2280 White Oak Circle, Suite 100 Aurora, Illinois
60502-9675 PH: 630.862.2100 FAX: 630.862.2199
E-Mail: info@cemcon.com Website: www.cemcon.com

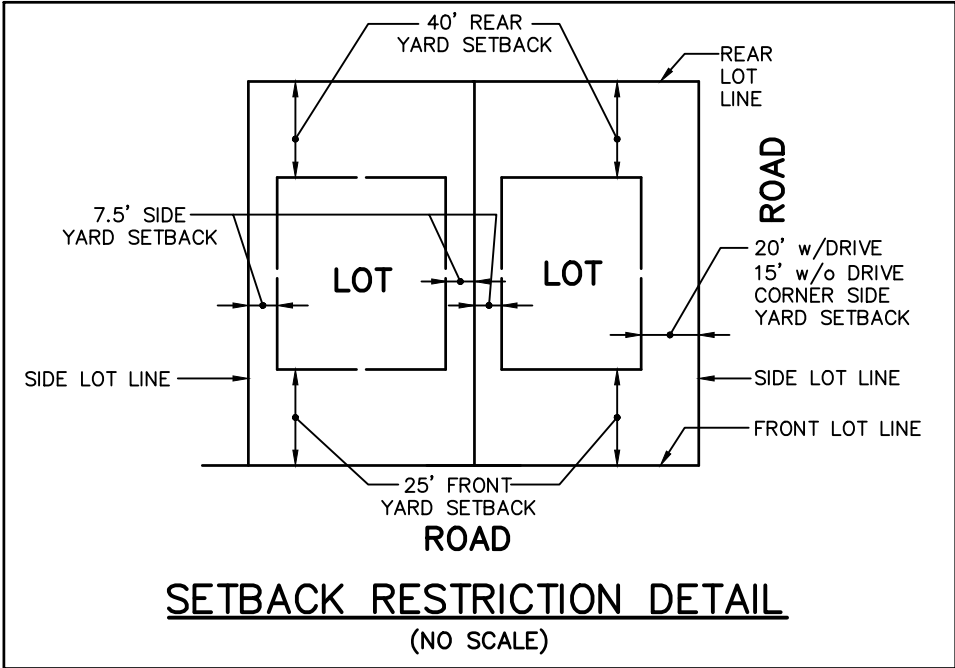
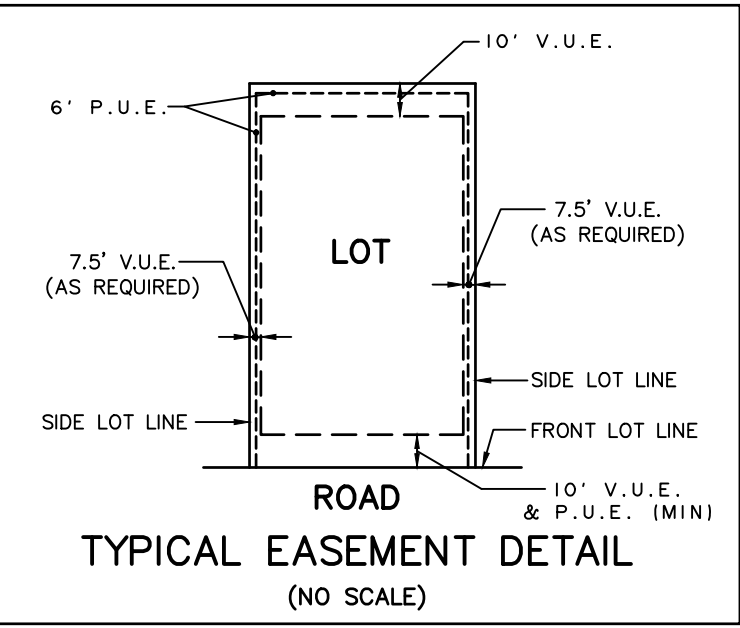
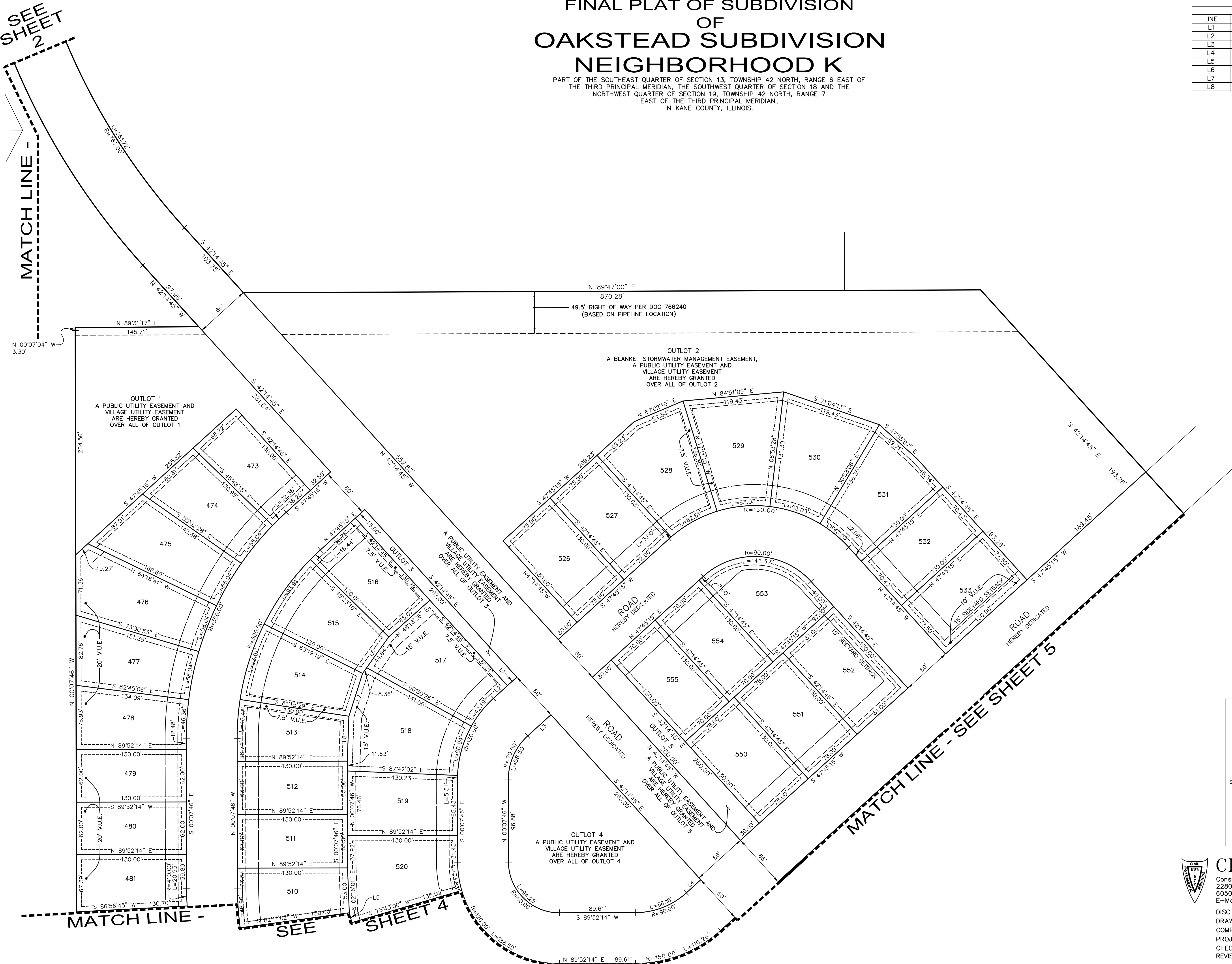
DISC NO.: 456279 FILE NAME: SUBPLAT-K
DRAWN BY: AJB FLD. BK. / PG. NO.: N/A
COMPLETION DATE: 03-11-26 JOB NO.: 456.279
PROJECT REFERENCE: 456.209 & 456.267
CHECKED BY: JRP 02-25-26
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FINAL PLAT OF SUBDIVISION
OF
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NEIGHBORHOOD K

PART OF THE SOUTHEAST QUARTER OF SECTION 13, TOWNSHIP 42 NORTH, RANGE 6 EAST OF
THE THIRD PRINCIPAL MERIDIAN, THE SOUTHWEST QUARTER OF SECTION 18 AND THE
NORTHWEST QUARTER OF SECTION 19, TOWNSHIP 42 NORTH, RANGE 7
EAST OF THE THIRD PRINCIPAL MERIDIAN,
IN KANE COUNTY, ILLINOIS.

LINE TABLE		
LINE	BEARING	LENGTH
L1	S 47°45'15" W	15.00'
L2	S 47°45'15" W	22.12'
L3	N 47°45'15" E	37.12'
L4	N 47°45'15" E	22.92'
L5	N 14°44'04" W	11.93'
L6	S 35°38'45" W	53.00'
L7	S 17°42'36" W	53.00'
L8	S 02°04'11" W	53.00'

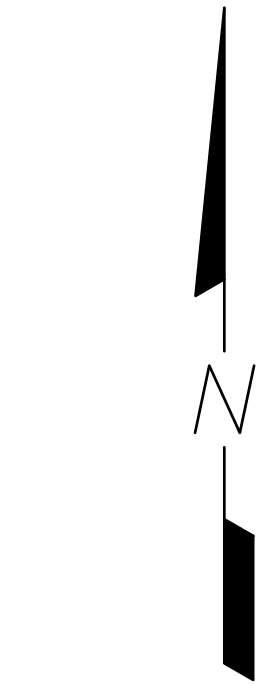


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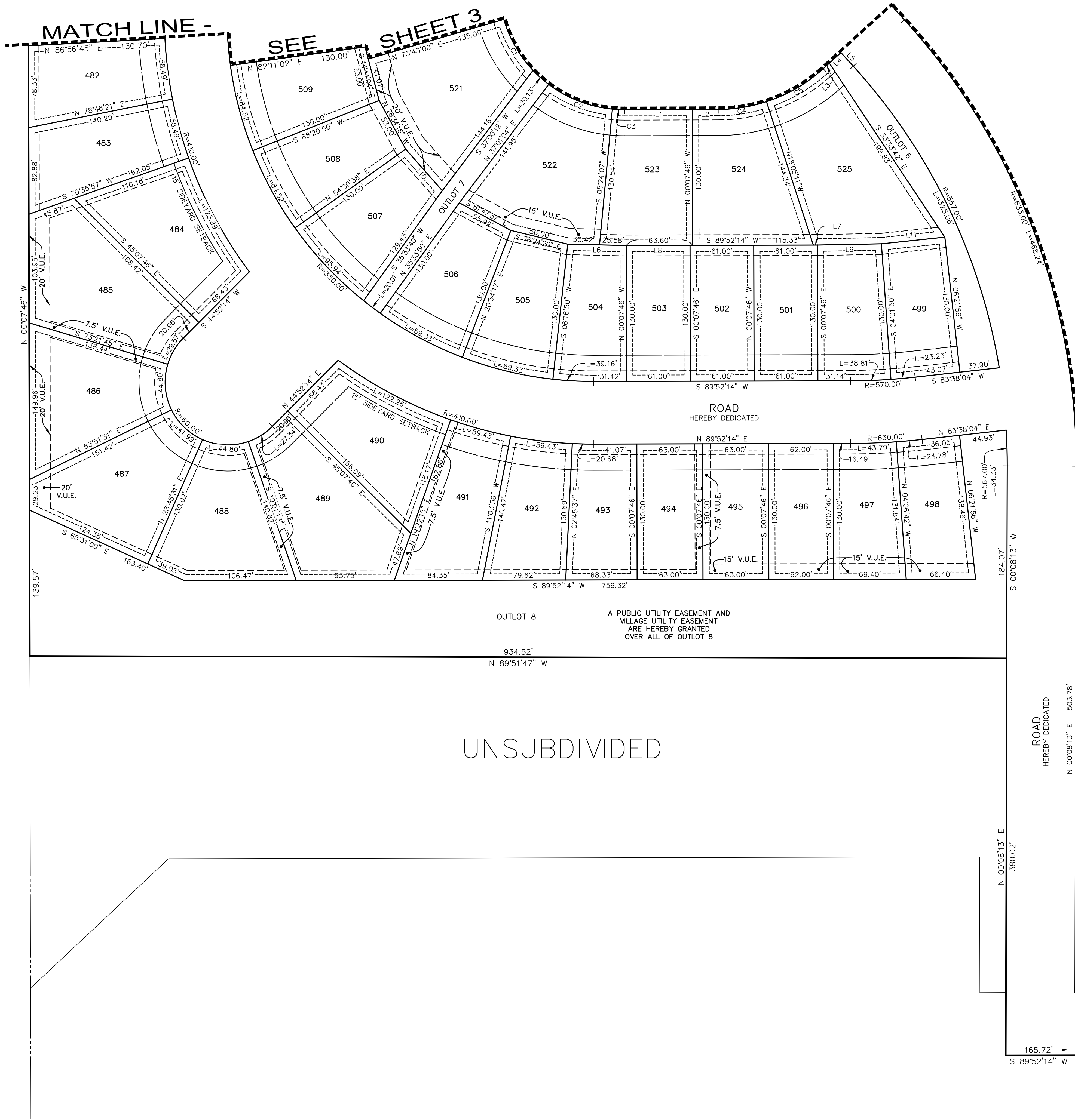


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SCALE: 1 INCH = 50 FEET

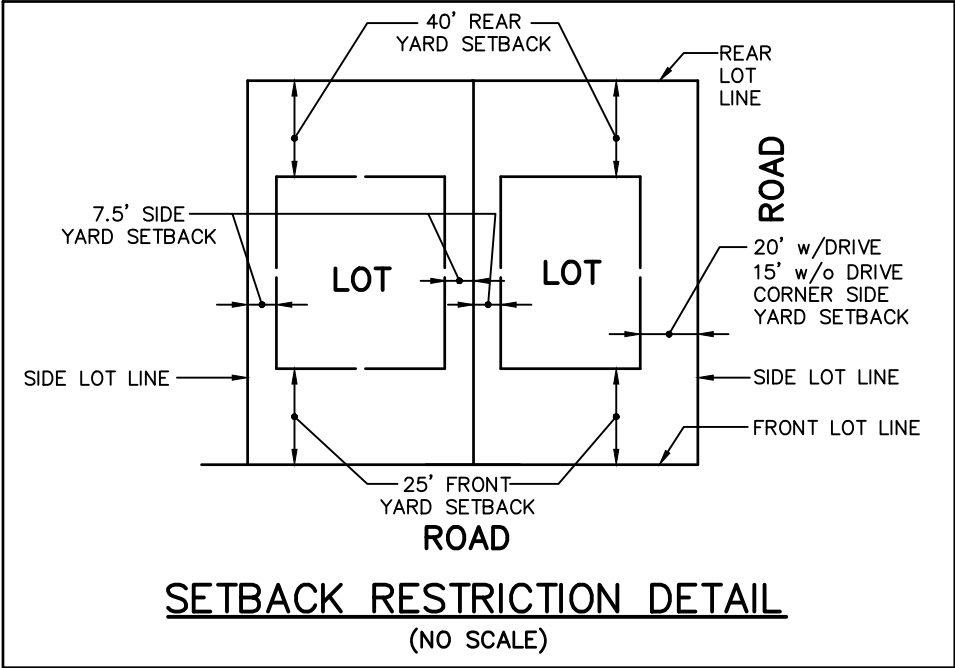
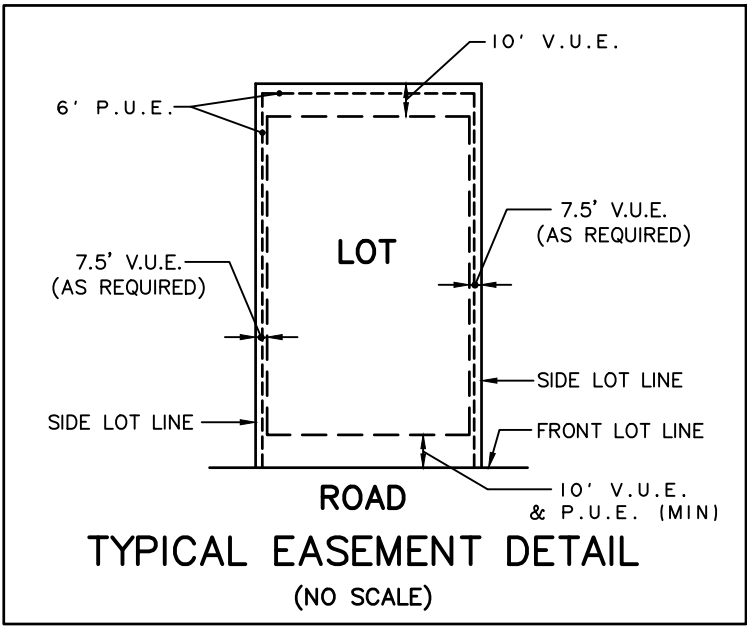
LINE TABLE		
LINE	BEARING	LENGTH
L1	N 89°52'14" E	65.02'
L2	N 89°52'14" E	24.59'
L3	N 47°45'15" E	7.92'
L4	N 47°45'15" E	15.00'
L5	S 42°14'45" E	17.54'
L6	S 88°43'19" E	56.00'
L7	S 89°52'14" W	4.07'
L8	N 89°52'14" E	61.00'
L9	N 88°54'51" E	61.08'
L10	S 41°25'33" E	53.00'
L11	S 83°58'44" W	61.00'

CURVE TABLE				
CURVE	LENGTH	RADIUS	CHORD BEARING	CHORD LENGTH
C1	56.73'	120.00'	S 29°49'37" E	56.20'
C2	66.22'	120.00'	S 68°47'25" E	65.38'
C3	11.58'	120.00'	S 87°21'49" E	11.58'
C4	47.01'	150.00'	N 80°53'32" E	46.82'
C5	63.25'	150.00'	N 59°50'02" E	62.78'

NOTE:
A BLANKET PUBLIC UTILITY EASEMENT
AND VILLAGE UTILITY EASEMENT ARE
HEREBY GRANTED OVER ALL OF
OUTLOTS 6 AND 7

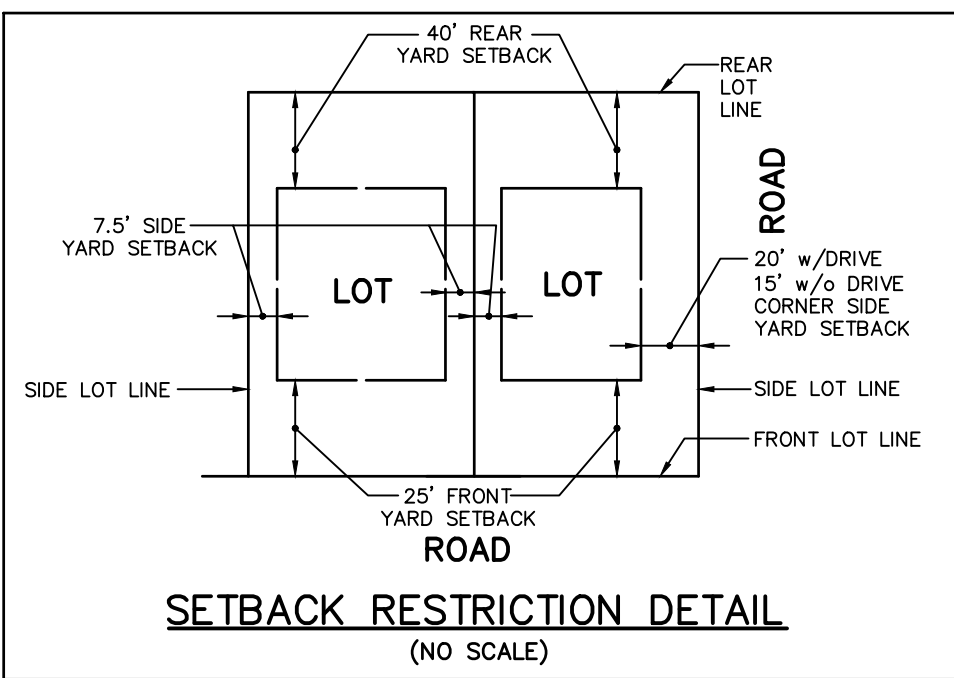
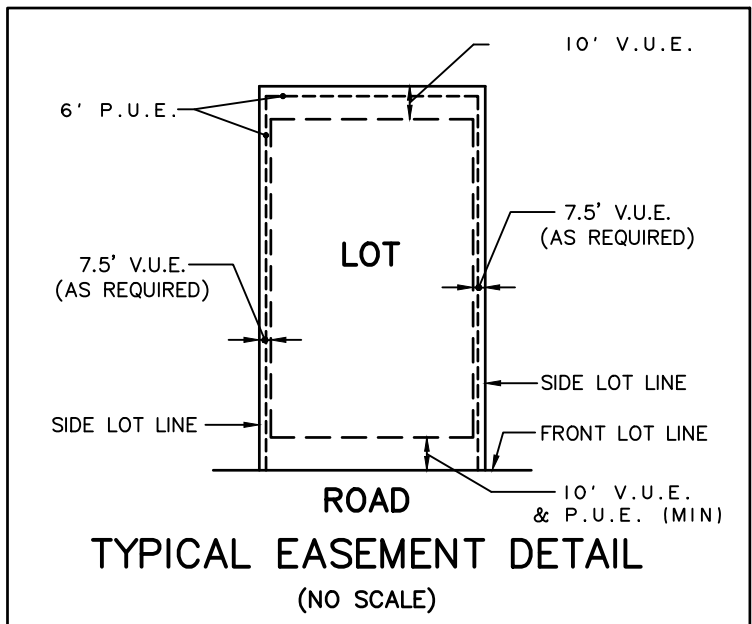
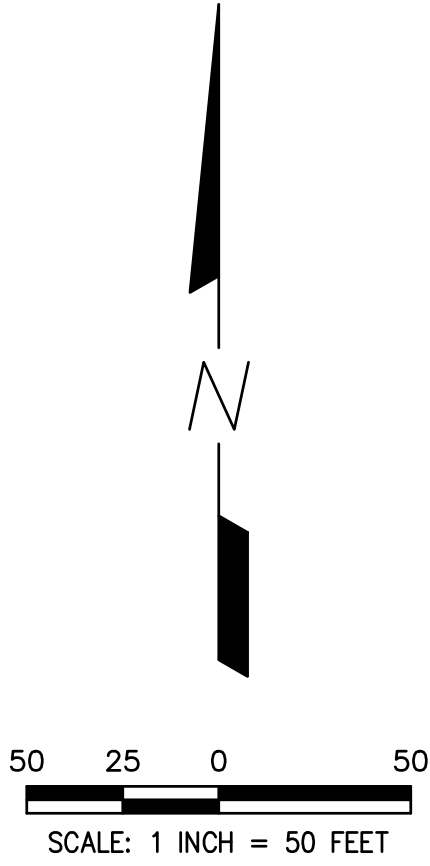


MATCH LINE - SEE SHEET 5

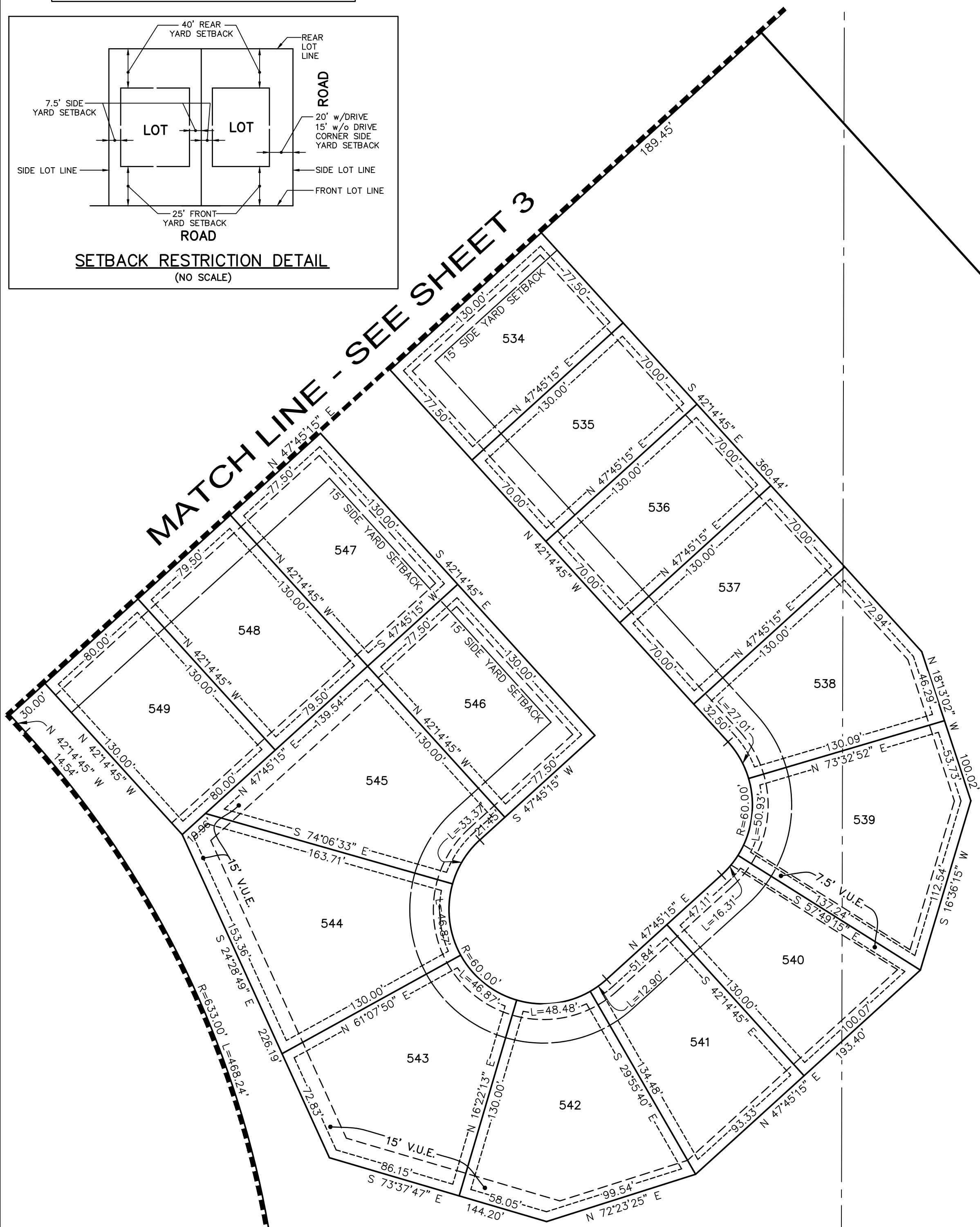


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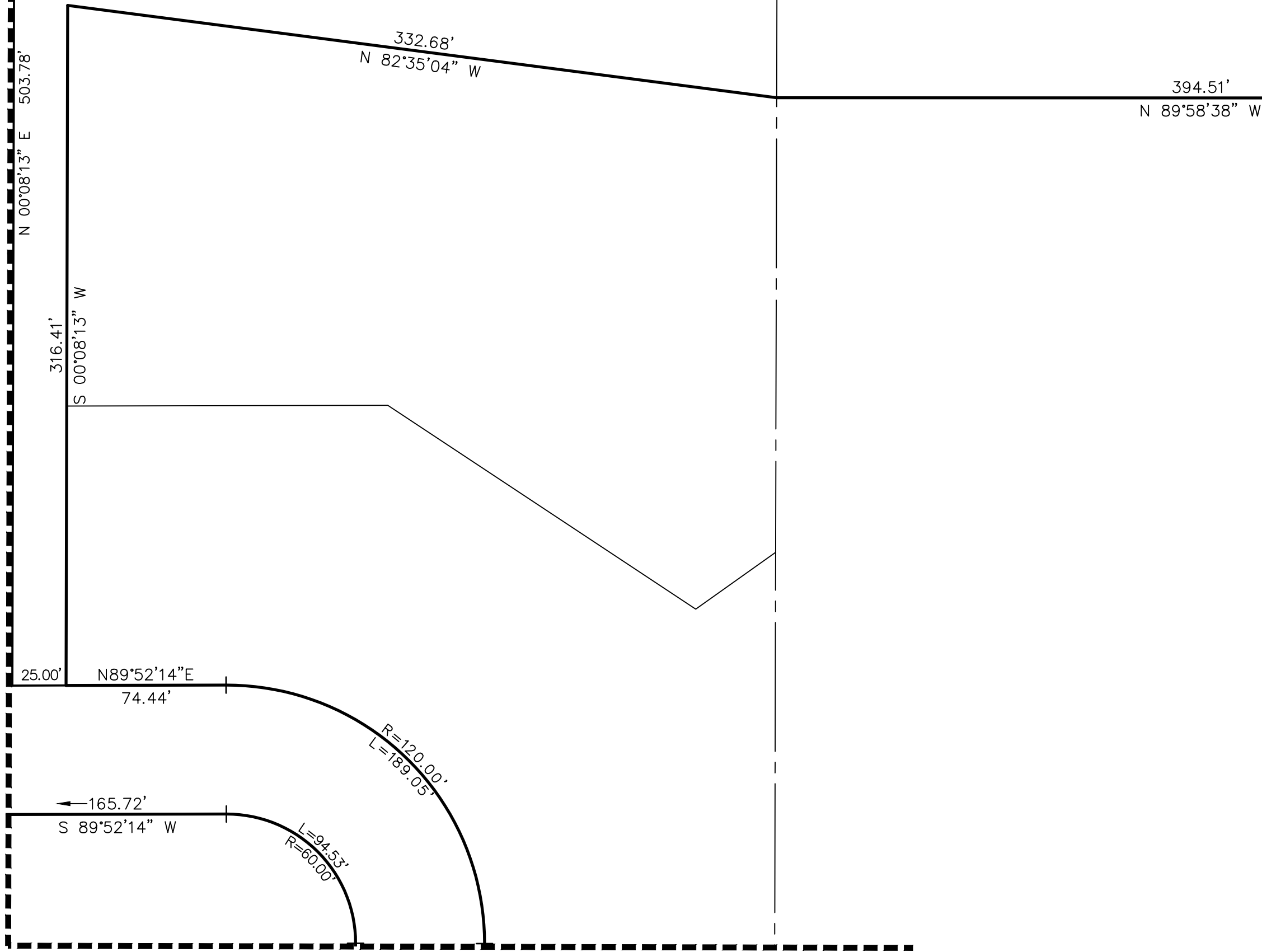
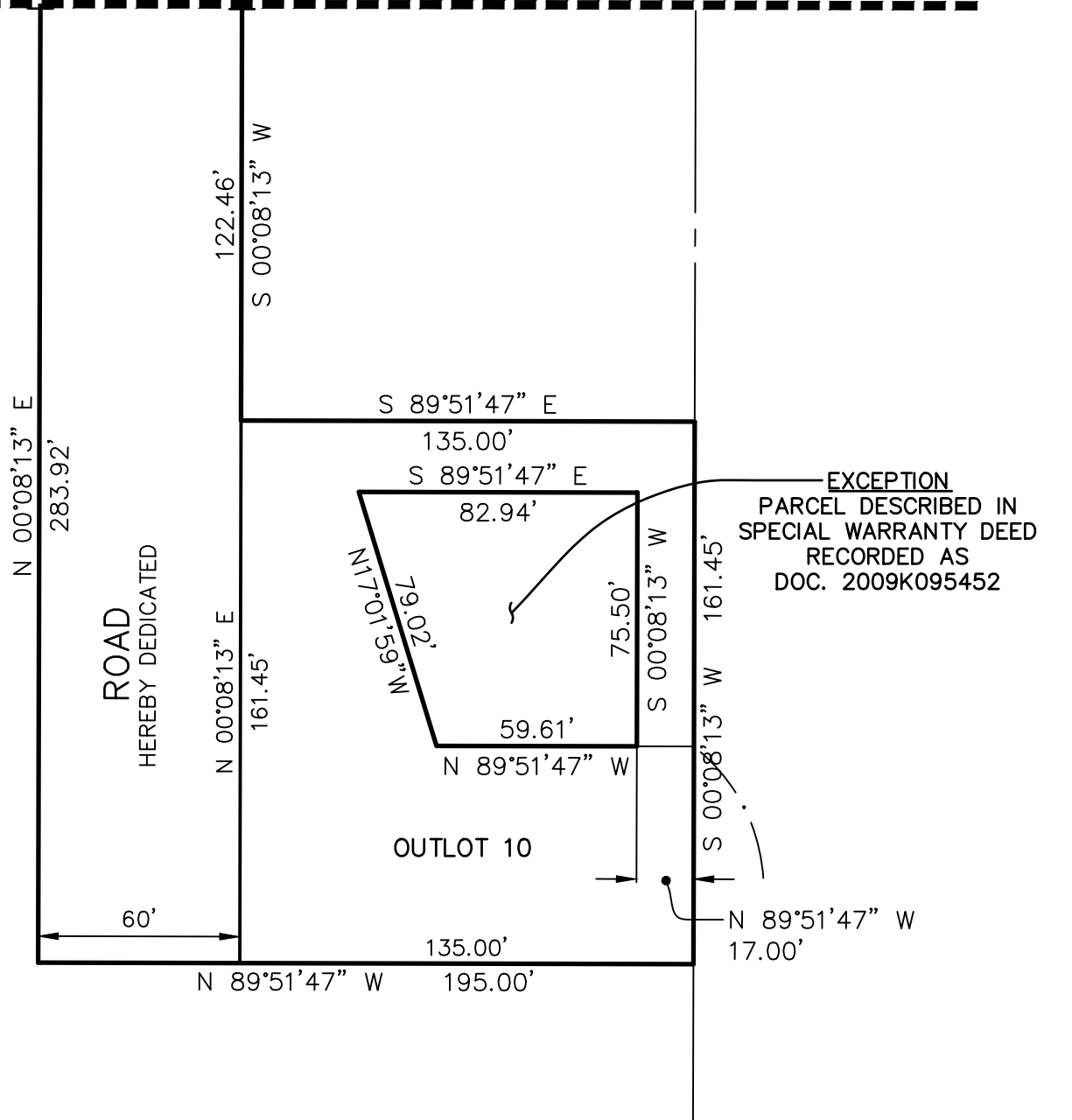
MATCH LINE A-A



MATCH LINE - SEE SHEET 3



OUTLOT 9
A BLANKET STORMWATER MANAGEMENT EASEMENT,
A PUBLIC UTILITY EASEMENT AND
VILLAGE UTILITY EASEMENT
ARE HEREBY GRANTED
OVER ALL OF OUTLOT 9



MATCH LINE A-A



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FINAL PLAT OF SUBDIVISION
OF
OAKSTEAD SUBDIVISION
NEIGHBORHOOD K

PART OF THE SOUTHEAST QUARTER OF SECTION 13, TOWNSHIP 42 NORTH, RANGE 6 EAST OF
THE THIRD PRINCIPAL MERIDIAN, THE SOUTHWEST QUARTER OF SECTION 18 AND THE
NORTHWEST QUARTER OF SECTION 19, TOWNSHIP 42 NORTH, RANGE 7
EAST OF THE THIRD PRINCIPAL MERIDIAN,
IN KANE COUNTY, ILLINOIS.

SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS)
SS.
COUNTY OF DUPAGE)

THIS IS TO CERTIFY THAT I, JEFFREY R. PANKOW, ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3483, AT THE REQUEST OF THE OWNER(S) THEREOF, HAVE SURVEYED, SUBDIVIDED AND PLATTED THE FOLLOWING DESCRIBED PROPERTY:

THAT PART OF THE SOUTHEAST QUARTER OF SECTION 13, TOWNSHIP 42 NORTH, RANGE 6 EAST OF THE THIRD PRINCIPAL MERIDIAN, THE SOUTHWEST QUARTER OF SECTION 18 AND THE NORTHWEST QUARTER OF SECTION 19, TOWNSHIP 42 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:
BEGINNING AT THE SOUTHEAST CORNER OF THE SOUTHEAST QUARTER OF SAID SECTION 13; THENCE NORTH 00 DEGREES 07 MINUTES 04 SECONDS WEST, 3.30 FEET ALONG THE EAST LINE OF SAID SOUTHEAST QUARTER; THENCE NORTH 89 DEGREES 31 MINUTES 17 SECONDS EAST, 145.71 FEET; THENCE NORTH 42 DEGREES 14 MINUTES 45 SECONDS WEST, 97.95 FEET; THENCE NORTHWESTERLY, 284.25 FEET ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 833.00 FEET AND A CHORD BEARING NORTH 32 DEGREES 28 MINUTES 13 SECONDS WEST; THENCE NORTH 22 DEGREES 41 MINUTES 41 SECONDS WEST, 482.22 FEET; THENCE NORTHWESTERLY, 370.24 FEET ALONG A CURVE TO THE LEFT, HAVING A RADIUS OF 517.00 FEET AND A CHORD BEARING NORTH 43 DEGREES 12 MINUTES 36 SECONDS WEST; THENCE NORTH 63 DEGREES 43 MINUTES 32 SECONDS WEST, 230.83 FEET; THENCE NORTHWESTERLY, 480.59 FEET ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 633.00 FEET AND A CHORD BEARING NORTH 41 DEGREES 58 MINUTES 32 SECONDS WEST TO THE SOUTHEAST CORNER OF OUTLOT 8 IN OAKSTEAD SUBDIVISION NEIGHBORHOOD F RECORDED AS DOCUMENT 2026K _____; THENCE NORTH 69 DEGREES 46 MINUTES 29 SECONDS EAST, 66.00 FEET ALONG A SOUTHERLY LINE OF SAID SUBDIVISION; THENCE SOUTHEASTERLY, 430.48 FEET ALONG A CURVE TO THE LEFT, HAVING A RADIUS OF 567.00 FEET AND A CHORD BEARING SOUTH 41 DEGREES 58 MINUTES 32 SECONDS EAST; THENCE SOUTH 63 DEGREES 43 MINUTES 32 SECONDS EAST, 230.83 FEET; THENCE SOUTHEASTERLY, 417.50 FEET ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 583.00 FEET AND A CHORD BEARING SOUTH 43 DEGREES 12 MINUTES 36 SECOND EAST; THENCE SOUTH 22 DEGREES 41 MINUTES 41 SECONDS EAST, 482.22 FEET; THENCE SOUTHERLY, 261.72 FEET ALONG A CURVE TO THE LEFT, HAVING A RADIUS OF 767.00 FEET AND A CHORD BEARING SOUTH 32 DEGREES 28 MINUTES 13 SECONDS EAST; THENCE SOUTH 42 DEGREES 14 MINUTES 45 SECONDS EAST, 103.75 FEET; THENCE NORTH 89 DEGREES 47 MINUTES 00 SECONDS EAST, 870.28 FEET; THENCE SOUTH 42 DEGREES 14 MINUTES 45 SECONDS EAST, 1017.83 FEET; THENCE SOUTH 00 DEGREES 01 MINUTE 22 SECONDS WEST, 613.07 FEET TO THE NORTH LINE OF THE WEST HALF OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 19; THENCE NORTH 89 DEGREES 58 MINUTES 38 SECONDS WEST, 394.51 FEET ALONG SAID NORTH LINE TO THE EAST LINE OF THE WEST HALF OF SAID SECTION 19; THENCE NORTH 82 DEGREES 35 MINUTES 04 SECONDS WEST, 332.68 FEET; THENCE SOUTH 00 DEGREES 08 MINUTES 13 SECONDS WEST, 316.41 FEET; THENCE NORTH 89 DEGREES 52 MINUTES 14 SECONDS EAST, 74.44 FEET; THENCE SOUTHEASTERLY, 189.05 FEET ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 120.00 FEET AND A CHORD BEARING SOUTH 44 DEGREES 59 MINUTES 46 SECONDS EAST; THENCE SOUTH 00 DEGREES 08 MINUTES 13 SECONDS WEST, 122.46 FEET; THENCE SOUTH 89 DEGREES 51 MINUTES 47 SECONDS EAST, 135.00 FEET TO THE EAST LINE OF THE WEST HALF OF SAID SECTION 19; THENCE SOUTH 00 DEGREES 08 MINUTES 13 SECONDS WEST, 161.45 FEET ALONG SAID EAST LINE; THENCE NORTH 89 DEGREES 51 MINUTES 47 SECONDS WEST, 195.00 FEET; THENCE NORTH 00 DEGREES 08 MINUTES 13 SECONDS EAST, 283.92 FEET; THENCE NORTHWESTERLY, 84.53 FEET ALONG A CURVE TO THE LEFT, HAVING A RADIUS OF 60.00 FEET AND A CHORD BEARING NORTH 44 DEGREES 59 MINUTES 46 SECONDS WEST; THENCE SOUTH 89 DEGREES 52 MINUTES 14 SECONDS WEST, 165.72 FEET; THENCE NORTH 00 DEGREES 08 MINUTES 13 SECONDS EAST, 60.00 FEET; THENCE SOUTH 89 DEGREES 52 MINUTES 14 SECONDS WEST, 25.00 FEET; THENCE NORTH 00 DEGREES 07 MINUTES 46 SECONDS WEST, 130.00 FEET; THENCE SOUTH 89 DEGREES 52 MINUTES 14 SECONDS WEST, 775.75 FEET; THENCE SOUTH 46 DEGREES 50 MINUTES 09 SECONDS WEST, 180.97 FEET TO THE WEST LINE OF THE NORTHWEST QUARTER OF SAID SECTION 19; THENCE NORTH 00 DEGREES 07 MINUTES 46 SECONDS WEST, 1587.79 FEET ALONG SAID WEST LINE TO THE POINT OF BEGINNING, IN KANE COUNTY, ILLINOIS.

EXCEPT THEREFROM THAT PART DESCRIBED AS FOLLOWS:

THAT PART OF THE NORTHWEST QUARTER OF SECTION 19, TOWNSHIP 42 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, KANE COUNTY, ILLINOIS, DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF THE SOUTHEAST QUARTER OF SECTION 24, TOWNSHIP 42 NORTH, RANGE 6 EAST OF THE THIRD PRINCIPAL MERIDIAN AS MONUMENTED PER DOCUMENT 2002K037383; THENCE NORTH 00 DEGREES 11 MINUTES 49 SECONDS WEST, 2638.16 FEET ALONG THE WEST LINE OF SAID SOUTHEAST QUARTER TO THE NORTH LINE THEREOF; THENCE NORTH 89 DEGREES 30 MINUTES 25 SECONDS EAST, 2624.81 FEET ALONG THE NORTH LINE OF SAID SOUTHEAST QUARTER TO THE NORTHEAST CORNER THEREOF; THENCE NORTH 89 DEGREES 57 MINUTES 22 SECONDS EAST, 1349.17 FEET ALONG THE NORTH LINE OF SAID NORTHWEST QUARTER TO THE EAST LINE OF THE WEST HALF OF SAID NORTHWEST QUARTER; THENCE NORTH 00 DEGREES 08 MINUTES 13 SECONDS EAST, 706.67 FEET ALONG SAID EAST LINE; THENCE NORTH 89 DEGREES 51 MINUTES 47 SECONDS WEST, 17.00 FEET TO THE POINT OF BEGINNING, BEING ON A LINE THAT IS 17.00 FEET WESTERLY OF AND PARALLEL WITH SAID EAST LINE; THENCE CONTINUE NORTH 89 DEGREES 51 MINUTES 47 SECONDS WEST, 59.61 FEET; THENCE NORTH 17 DEGREES 01 MINUTES 59 SECONDS WEST, 79.02 FEET; THENCE SOUTH 89 DEGREES 51 MINUTES 47 SECONDS EAST, 82.94 FEET TO AFOREMENTIONED PARALLEL LINE; THENCE SOUTH 00 DEGREES 08 MINUTES 13 SECONDS WEST, 75.50 FEET ALONG SAID PARALLEL LINE TO THE POINT OF BEGINNING.

I FURTHER CERTIFY THAT THE PLAT HEREON DRAWN WAS PREPARED IN ACCORDANCE WITH THE PLAT ACT AND THE ILLINOIS ADMINISTRATIVE CODE, SECTION 1270.56 MINIMUM STANDARDS OF PRACTICE. ALL DISTANCES ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.

I FURTHER CERTIFY THAT PART OF THE ABOVE-DESCRIBED PROPERTY IS LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA AS IDENTIFIED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY BASED ON FIRM 17089C130J, DATED JUNE 2, 2015, BUT THAT ALL SPECIAL FLOOD HAZARD AREAS ARE CONTAINED IN STORMWATER MANAGEMENT EASEMENTS OR LAND TO BE CONVEYED TO THE VILLAGE OF HAMPSHIRE AND THAT NO PARTS OF LOTS 473 THROUGH 555 (INCLUSIVE) ARE LOCATED WITHIN SAID SPECIAL FLOOD HAZARD AREA.

I FURTHER CERTIFY THAT ALL SUBDIVISION MONUMENTS WILL BE SET, AND I HAVE DESCRIBED THEM ON THIS FINAL PLAT AS REQUIRED BY THE PLAT ACT (765 ILCS 205/). THE EXTERIOR SUBDIVISION MONUMENTS HAVE BEEN SET AND INTERIOR MONUMENTS WILL BE SET WITHIN 12 MONTHS OF THE RECORDING OF THIS PLAT (SECTION 1270-56 OF THE ILLINOIS PROFESSIONAL LAND SURVEYOR ACT OF 1989).

I FURTHER CERTIFY THAT THE PROPERTY SHOWN ON THE PLAT HEREON DRAWN IS SITUATED WITHIN THE CORPORATE LIMITS OF THE VILLAGE OF HAMPSHIRE, ILLINOIS, WHICH IS EXERCISING THE SPECIAL POWERS AUTHORIZED BY DIVISION 12 OF ARTICLE 11 OF THE ILLINOIS MUNICIPAL CODE AS AMENDED.

GIVEN UNDER MY HAND AND SEAL AT AURORA, ILLINOIS,

THIS ____TH DAY OF _____, 20____.

OWNERSHIP CERTIFICATE

STATE OF ILLINOIS)
SS
COUNTY OF DUPAGE)

THIS IS TO CERTIFY THAT HAMPSHIRE EAST, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY, IS THE FEE SIMPLE OWNER OF THE PROPERTY DESCRIBED IN THE FOREGOING SURVEYOR'S CERTIFICATE AND HAS CAUSED THE SAME TO BE SURVEYED, SUBDIVIDED, AND PLATTED AS SHOWN HEREON FOR THE USES AND PURPOSES HEREIN SET FORTH AS ALLOWED AND PROVIDED FOR BY STATUTE, AND DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE THEREON INDICATED.

THE UNDERSIGNED HEREBY DEDICATES FOR PUBLIC USE THE LANDS INDICATED ON THIS PLAT AS THOROUGHFARES, STREETS, ALLEYS AND PUBLIC SERVICES; AND HEREBY ALSO RESERVES FOR ANY ELECTRIC, GAS, TELEPHONE, CABLE TV OR OTHER TELECOMMUNICATIONS COMPANY UNDER FRANCHISE AGREEMENT WITH THE VILLAGE OF HAMPSHIRE, THEIR SUCCESSORS AND ASSIGNS, THE EASEMENT PROVISIONS WHICH ARE STATED HEREON.

THE UNDERSIGNED, FURTHER CERTIFIES THAT ALL OF THE LAND INCLUDED IN THIS PLAT LIES WITHIN THE BOUNDARIES OF COMMUNITY UNIT SCHOOL DISTRICT 300.

DATED AT NAPERVILLE, IL DUPAGE COUNTY, ILLINOIS

HAMPSHIRE EAST LLC
1751A WEST DIEHL ROAD
NAPERVILLE, IL 60563

_____	_____
TITLE	TITLE
_____	_____
PRINTED NAME	PRINTED NAME

NOTARY CERTIFICATE

STATE OF ILLINOIS)
SS
COUNTY OF DUPAGE)

I, _____, A NOTARY PUBLIC IN AND FOR THE COUNTY OF _____ AND STATE AFORESAID, DO HEREBY CERTIFY THAT _____ AND _____, PERSONALLY KNOWN TO ME TO BE THE PRESIDENT AND SECRETARY OF HAMPSHIRE WEST, LLC, AS SHOWN ABOVE, APPEARED BEFORE ME THIS DAY AND ACKNOWLEDGED THAT AS SUCH OFFICERS, THEY SIGNED AND DELIVERED THE SAID INSTRUMENT AND CAUSED THE CORPORATE SEAL TO BE AFFIXED THERETO AS THEIR FREE AND VOLUNTARY ACT AND AS THE FREE AND VOLUNTARY ACT OF SAID CORPORATION, FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARIAL SEAL

THIS ____ DAY OF _____, 20____.

NOTARY PUBLIC

VILLAGE ENGINEER'S CERTIFICATE

STATE OF ILLINOIS)
SS
COUNTY OF KANE)

I, _____, VILLAGE ENGINEER FOR THE VILLAGE OF HAMPSHIRE, DO HEREBY CERTIFY THAT THE REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED OR THE REQUIRED GUARANTEE COLLATERAL HAS BEEN POSTED FOR THE COMPLETION OF ALL REQUIRED IMPROVEMENTS.

DATED AT HAMPSHIRE, ILLINOIS THIS ____ DAY OF _____, 20____.

VILLAGE ENGINEER

KANE COUNTY CLERK'S CERTIFICATE

STATE OF ILLINOIS)
SS.
COUNTY OF KANE)

I, _____, COUNTY CLERK OF KANE COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT GENERAL TAXES, NO UNPAID CURRENT TAXES, NO UNPAID FORFEITED TAXES, AND NO REDEEMABLE TAX SALES AGAINST ANY OF THE LAND IN THE PLAT HEREIN DRAWN. I FURTHER CERTIFY THAT I HAVE RECEIVED ALL STATUTORY FEES IN CONNECTION WITH THE ANNEXED PLAT.

GIVEN UNDER MY HAND AND SEAL OF THE COUNTY CLERK AT GENEVA, ILLINOIS, THIS ____ DAY OF _____, A.D., 20____.

COUNTY CLERK

VILLAGE COLLECTOR'S CERTIFICATE

STATE OF ILLINOIS)
SS
COUNTY OF KANE)

I, _____, VILLAGE COLLECTOR OF THE VILLAGE OF HAMPSHIRE, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT OR UNPAID CURRENT OR FORFEITED SPECIAL ASSESSMENTS OR ANY DEFERRED INSTALLMENTS THEREOF THAT HAVE BEEN APPORTIONED AGAINST THE TRACT OF LAND INCLUDED IN THIS PLAT.

DATED AT HAMPSHIRE, KANE COUNTY, ILLINOIS.

THIS ____ DAY OF _____, 20____.

VILLAGE COLLECTOR

VILLAGE BOARD CERTIFICATE

STATE OF ILLINOIS)
SS
COUNTY OF KANE)

APPROVED BY THE PRESIDENT AND THE BOARD OF TRUSTEES OF THE VILLAGE OF HAMPSHIRE, ILLINOIS,

THIS ____ DAY OF _____, 20____.

VILLAGE PRESIDENT: _____

ATTEST: _____

STORMWATER MANAGEMENT EASEMENT PROVISIONS

AN EASEMENT IS HEREBY RESERVED FOR AND GRANTED TO THE VILLAGE OF HAMPSHIRE AND TO ITS SUCCESSORS AND ASSIGNS, OVER ALL OF THE AREAS MARKED "STORMWATER MANAGEMENT EASEMENT" (abbreviated S.M.E.) ON THE PLAT FOR THE PERPETUAL RIGHT, PRIVILEGE, AND AUTHORITY TO SURVEY, CONSTRUCT, RECONSTRUCT, REPAIR, INSPECT, MAINTAIN AND OPERATE STORM SEWERS AND THE STORMWATER MANAGEMENT AREA, TOGETHER WITH ANY AND ALL NECESSARY MANHOLES, CATCH BASINS, SANITARY SEWERS, WATER MAINS, ELECTRIC AND COMMUNICATION CABLES, CONNECTIONS, DITCHES, SWALES, AND OTHER STRUCTURES AND APPURTENANCES AS MAY BE DEEMED NECESSARY BY SAID VILLAGE, OVER, UPON, ALONG, UNDER AND THROUGH SAID INDICATED EASEMENT, TOGETHER WITH THE RIGHT OF ACCESS ACROSS THE PROPERTY FOR NECESSARY MEN AND EQUIPMENT TO DO ANY OF THE ABOVE WORK. THE RIGHT IS ALSO GRANTED TO CUT DOWN, TRIM OR REMOVE ANY TREES, SHRUBS OR OTHER PLANTS ON THE EASEMENT THAT INTERFERE WITH THE OPERATION OF SEWERS OR OTHER UTILITIES. NO PERMANENT BUILDINGS SHALL BE PLACED ON SAID EASEMENT. NO CHANGE TO THE TOPOGRAPHY OR STORMWATER MANAGEMENT STRUCTURES WITHIN THE EASEMENT AREA SHALL BE MADE WITHOUT EXPRESS WRITTEN CONSENT OF THE VILLAGE ENGINEER, BUT SAME MAY BE USED FOR PURPOSES THAT DO NOT THEN OR LATER INTERFERE WITH THE AFORESAID USES OR RIGHTS.

THE OWNER OF THE PROPERTY SHALL REMAIN RESPONSIBLE FOR THE MAINTENANCE OF THE STORMWATER MANAGEMENT AREA AND APPURTENANCES. THE VILLAGE OF HAMPSHIRE WILL PERFORM ONLY EMERGENCY PROCEDURES AS DEEMED NECESSARY BY THE VILLAGE ENGINEER OF THE VILLAGE OF HAMPSHIRE.

GENERAL PROVISIONS COMMON TO ALL EASEMENTS:

NO FENCE, SHED OR ANY STRUCTURE SHALL BE ERECTED WITHIN AN EASEMENT THAT WILL OBSTRUCT OR PROHIBIT THE OVERLAND FLOW OF STORMWATER, OR OBSTRUCT, IMPEDE, OR PRECLUDE READY ACCESS TO ANY UTILITY FACILITY OR APPURTENANCE, SUCH AS AN EQUIPMENT BOX, A CATCH BASIN, OR ANY OTHER SUCH FACILITY OR APPURTENANCE.

THE VILLAGE OF HAMPSHIRE AND ITS REPRESENTATIVES SHALL, AT THEIR SOLE DISCRETION, REQUIRE ANY FENCE, STRUCTURE OR OTHER OBSTRUCTION THAT IS ERECTED WITHIN A PUBLIC UTILITY EASEMENT, VILLAGE UTILITY EASEMENT, UTILITY EASEMENT, DRAINAGE EASEMENT OR EASEMENT FOR STORMWATER DETENTION BASIN, BE REMOVED AT NO COST TO THE VILLAGE. THE COST OF REMOVAL AND REPLACEMENT OF ANY OBSTRUCTION SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER.

PUBLIC UTILITY EASEMENT PROVISIONS
(ELECTRIC AND COMMUNICATION)

COMMONWEALTH EDISON COMPANY, AMERITECH, MEDIACOM, AND OTHER UTILITY COMPANIES PROVIDING ELECTRIC AND COMMUNICATIONS SERVICES, THEIR RESPECTIVE SUCCESSORS AND ASSIGNS, JOINTLY OR SEVERALLY ARE HEREBY GIVEN EASEMENT RIGHTS TO ALL PLATTED EASEMENTS DESIGNATED "PUBLIC UTILITY EASEMENTS" AND JOINTLY WITH VILLAGE UTILITIES TO ALL PLATTED EASEMENTS DESIGNATED "UTILITY EASEMENTS" TOGETHER WITH THE RIGHT OF ACCESS THERETO AND TO ALL PLATTED STREETS AND ALLEYS TO INSTALL, OPERATE, MAINTAIN AND REMOVE, FROM TIME TO TIME, FACILITIES USED IN CONNECTION WITH THE TRANSMISSION AND DISTRIBUTION OF ELECTRICITY AND SOUNDS AND SIGNALS, TOGETHER WITH THE RIGHT TO INSTALL REQUIRED SERVICE CONNECTIONS TO SERVE THE IMPROVEMENTS OF EACH LOT, THE RIGHT TO CUT DOWN AND REMOVE OR TRIM AND KEEP TRIMMED ANY TREES, SHRUBS OR SAPLINGS THAT INTERFERE OR THREATEN TO INTERFERE WITH ANY OF SAID PUBLIC UTILITY EQUIPMENT. THE LOCATION OF FACILITIES IN PLATTED STREETS AND ALLEYS SHALL NOT CONFLICT WITH PUBLIC IMPROVEMENTS AND SHALL BE SUBJECT TO VILLAGE APPROVAL. NO PERMANENT BUILDINGS OR TREES SHALL BE PLACED ON SAID EASEMENT, BUT SAME MAY BE USED FOR GARDENS, SHRUBS, LANDSCAPING AND OTHER PURPOSES THAT DO NOT THEN OR LATER INTERFERE WITH THE AFORESAID USES OR THE RIGHTS HEREIN GRANTED. ALL UTILITY LINES SHALL BE CONSTRUCTED UNDERGROUND. NO OVERHEAD LINES WILL BE PERMITTED.

PUBLIC UTILITY EASEMENT PROVISIONS
(NICOR)

NICOR, ITS SUCCESSOR AND ASSIGNS, IS HEREBY GIVEN EASEMENT RIGHTS TO ALL PLATTED STREETS AND ALLEYS. SAID EASEMENT TO BE FOR THE INSTALLATION, RELOCATION, RENEWAL AND REMOVAL OF GAS MAINS AND APPURTENANCES. LOCATION OF MAINS AND APPURTENANCES SHALL NOT CONFLICT WITH PUBLIC IMPROVEMENTS AND SHALL BE SUBJECT TO VILLAGE APPROVAL.

DRAINAGE EASEMENT PROVISIONS

THE VILLAGE OF HAMPSHIRE IS HEREBY GIVEN EASEMENT RIGHTS TO ALL PLATTED EASEMENTS DESIGNATED "DRAINAGE EASEMENT" OR "DE" TO INSTALL, OPERATE AND MAINTAIN UNDERGROUND AND SURFACE DRAINAGE FACILITIES AND WATERCOURSES. SAID EASEMENTS SHALL BE USED FOR NO OTHER PURPOSE EXCEPT AS EXPRESSLY AUTHORIZED BY THE VILLAGE. NO PERMANENT BUILDINGS SHALL BE PLACED ON SAID EASEMENT, BUT SAME MAY BE USED FOR GARDENS, SHRUBS, LANDSCAPING AND OTHER PURPOSES THAT DO NOT THEN OR LATER INTERFERE WITH THE AFORESAID USES OR THE RIGHTS HEREIN GRANTED.

VILLAGE UTILITY EASEMENT PROVISIONS

THE VILLAGE OF HAMPSHIRE IS HEREBY GIVEN EASEMENT RIGHTS TO ALL PLATTED EASEMENTS DESIGNATED "VILLAGE UTILITY EASEMENT", TOGETHER WITH THE RIGHT OF ACCESS THERETO. SAID EASEMENTS SHALL BE USED SOLELY TO INSTALL, OPERATE, MAINTAIN AND REMOVE FROM TIME TO TIME, ABOVE GROUND AND UNDERGROUND FACILITIES AND APPURTENANCES USED IN CONNECTION WITH THE WATER SYSTEM, SANITARY SEWER SYSTEM AND STORM DRAINAGE SYSTEM OF THE VILLAGE OF HAMPSHIRE. THESE EASEMENTS MAY BE GRADED AS SWALES TO RECEIVE LOCAL SURFACE DRAINAGE. NO PERMANENT BUILDING SHALL BE PLACED ON SAID EASEMENT, BUT THE SAME MAY BE USED FOR GARDENS, SHRUBS, LANDSCAPING AND OTHER PURPOSES THAT DO NOT THEN OR LATER INTERFERE WITH THE AFORESAID USES OR RIGHTS HEREIN GRANTED. TREES SHALL ONLY BE ALLOWED TO BE PLACED IN SUCH LOCATIONS IN THE EASEMENT AS ARE APPROVED BY THE VILLAGE STAFF TO AVOID ACTUAL CONFLICTS WITH UTILITIES.

THE VILLAGE OF HAMPSHIRE AND ITS REPRESENTATIVES SHALL, AT THEIR SOLE DISCRETION, REQUIRE ANY FENCE, STRUCTURE OR OTHER OBSTRUCTION THAT IS ERECTED WITHIN A VILLAGE UTILITY EASEMENT, BE REMOVED AT NO COST TO THE VILLAGE. THE COST OF REMOVAL AND REPLACEMENT OF ANY OBSTRUCTION AND ANY OTHER VILLAGE EXPENSES ASSOCIATED THERETH SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER OF THE PROPERTY UPON WHICH THE EASEMENT OBSTRUCTION IS LOCATED.

THE VILLAGE SHALL HAVE NO OBLIGATION WITH RESPECT TO SURFACE RESTORATION, INCLUDING BUT NOT LIMITED TO, THE LAWN OR SHRUBBERY; PROVIDED, HOWEVER, THAT THE VILLAGE SHALL BE OBLIGATED FOLLOWING MAINTENANCE WORK TO 1) STABILIZE ALL SURFACES (IN ANY MANNER SUITABLE TO THE VILLAGE) SO AS TO RETAIN SUITABLE DRAINAGE, 2) TO REMOVE ALL EXCESS DEBRIS AND SPOIL AND 3) TO LEAVE THE MAINTENANCE AREA IN A GENERALLY CLEAN AND WORKMANLIKE CONDITION.

PREPARED BY:



CEMCON, Ltd.

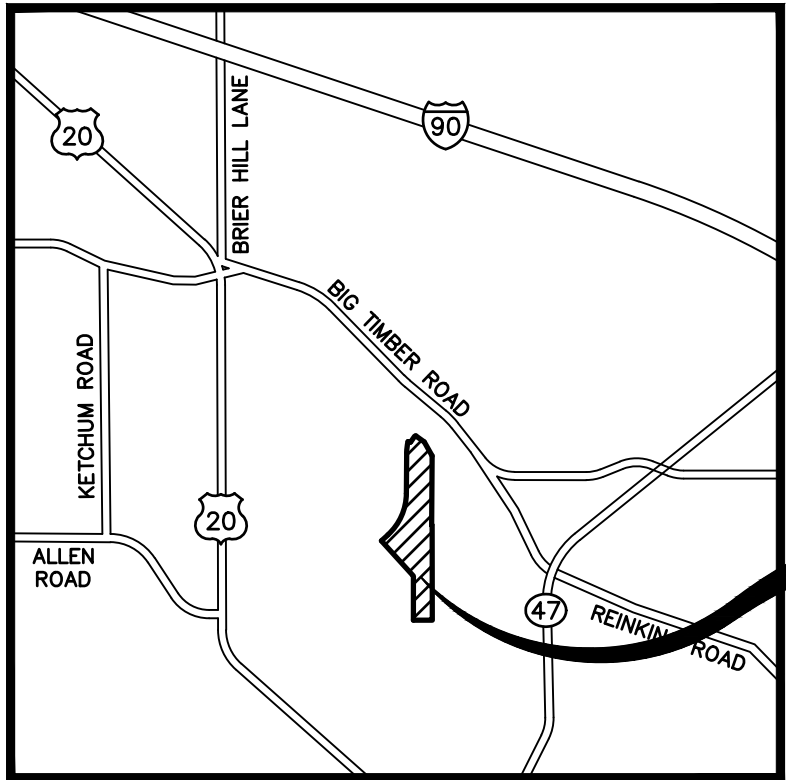
Consulting Engineers, Land Surveyors & Planners
2280 White Oak Circle, Suite 100 Aurora, Illinois
60502-9675 PH: 630.862.2100 FAX: 630.862.2199
E-Mail: info@cemcon.com Website: www.cemcon.com

DISC NO.: 456279 FILE NAME: SUBPLAT-K
DRAWN BY: AJB FLD. BK. / PG. NO.: N/A
COMPLETION DATE: 03-11-26 JOB NO.: 456.279
PROJECT REFERENCE: 456.209 & 456.267
CHECKED BY: JRP 02-25-26
REVISED 06-24-26\AJB PER VILLAGE COMMENTS DATED 06-02-26

FINAL PLAT OF SUBDIVISION
OF
OAKSTEAD SUBDIVISION
NEIGHBORHOOD R

PART SOUTHWEST QUARTER OF SECTION 18 AND THE NORTHWEST QUARTER OF SECTION 19, BOTH IN
TOWNSHIP 42 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN KANE COUNTY, ILLINOIS.

SITE
LOCATION



VICINITY MAP

LINE TABLE		
LINE	BEARING	LENGTH
L1	N 47°45'15" E	122.10'
L2	S 78°56'30" E	20.22'
L3	N 34°45'56" E	102.59'
L4	N 79°45'56" E	14.14'
L5	S 55°14'04" E	144.51'
L6	S 29°02'07" E	221.94'

CURVE TABLE				
CURVE	LENGTH	RADIUS	CHORD BEARING	CHORD BEARING
C1	156.86'	684.00'	N 06°54'32" E	156.52'
C2	15.63'	230.00'	S 76°59'40" E	15.63'

VILLAGE OF HAMPSHIRE
RESOLUTION NO. 25-
RESOLUTION APPROVING A FINAL PLAT OF
SUBDIVISION FOR OAKSTEAD SUBDIVISION NEIGHBORHOOD R

SHEET 1 OF 5

100 50 0 100
SCALE: 1 INCH = 100 FEET

TOTAL AREA OF SUBDIVISION

21.781 ACRES
(MORE OR LESS)

PARCEL INDEX NUMBERS

PART OF 01-13-400-006
PART OF 02-18-300-002
PART OF 02-19-100-003
PART OF 02-19-100-004
HAMPSHIRE, ILLINOIS

NOTES

3/4 INCH IRON PIPE SET AT ALL LOT CORNERS AND
POINTS OF CURVATURE UNLESS OTHERWISE NOTED.
ALL MEASUREMENTS ARE SHOWN IN FEET AND
DECIMAL PARTS THEREOF.
DIMENSIONS SHOWN ALONG CURVES ARE ARC
DISTANCES.
DIMENSIONS ENCLOSED WITH () ARE RECORD DATA.
ALL OTHER DIMENSIONS ARE MEASURED.
ALL EASEMENTS ARE HEREBY GRANTED UNLESS
OTHERWISE NOTED.
THE BEARINGS SHOWN ARE BASED UPON THE SOUTH
LINE OF THE SUBJECT SITE BEING N 89°58'38" W
(ASSUMED).
GAP IN LOT NUMBERING DUE TO THE PREDEFINED
LOT NUMBERING WITHIN THE OAKSTEAD DEVELOPMENT.
F.I.P. = FOUND IRON PIPE (ø AS SHOWN)
F.I.R. = FOUND IRON ROD (ø AS SHOWN)
OUTLOTS 1-3 TO BE OWNED AND MAINTAINED BY THE
HOMEOWNERS ASSOCIATION.

LOT AREA SUMMARY TABLE

LOT NUMBER	SQ. FT.	LOT NUMBER	SQ. FT.
455	7,040	465	7,040
456	7,040	466	7,040
457	7,040	467	7,040
458	7,040	468	7,040
459	7,040	469	7,040
460	7,040	470	7,040
461	7,040	471	7,040
462	7,040	472	7,040
463	7,040	OUTLOT 1	42,505
464	7,040	OUTLOT 2	152,180
		OUTLOT 3	546,547

F.I.R. 9/16"
0.08" W.
PER MON. REC. 2002K037383
S. LINE OF SW QUARTER
SECTION 18-42-7
FIR 9/16
AS CALLED FOR
MON. REC. 91K20815

FIP 3/4"

N. LINE OF NW QUARTER
SECTION 19-42-7
POINT OF BEGINNING

FIR 5/8" PER
MON. REC. 91K20814

THIS PLAT WAS SUBMITTED TO THE COUNTY
RECORDER FOR THE PURPOSES OF RECORDING BY:

(PRINT NAME)

(ADDRESS)

(CITY/TOWN) (STATE) (ZIP CODE)

LEGEND

- SUBDIVISION BOUNDARY LINE
(Heavy Solid Line)
- LOT LINE/PROPERTY LINE
(Solid Line)
- ADJACENT LOT LINE/PROPERTY LINE
(Light Solid Line)
- BUILDING LINE
(Long Dashed Lines)
- EASEMENT LINE/LIMITS OF EASEMENT
(Short Dashed Lines)
- CENTERLINE
(Single Dashed Lines)
- QUARTER SECTION LINE
(Double Dashed Lines)
- SECTION LINE
(Triple Dashed Lines)
- SET CONCRETE MONUMENT



PREPARED BY:



CEMCON, Ltd.

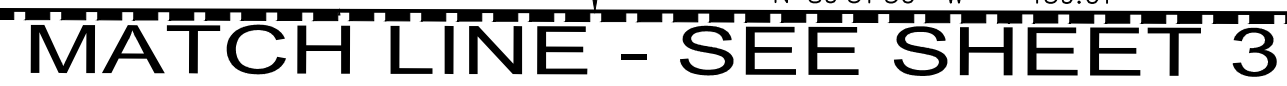
Consulting Engineers, Land Surveyors & Planners
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E-Mail: info@cemcon.com Website: www.cemcon.com

DISC NO.: 456279 FILE NAME: SUBPLAT-R
DRAWN BY: AJB FLD. BK. / PG. NO.: N/A
COMPLETION DATE: 03-25-26 JOB NO.: 456.279
PROJECT REFERENCE: 456.209 & 456.267

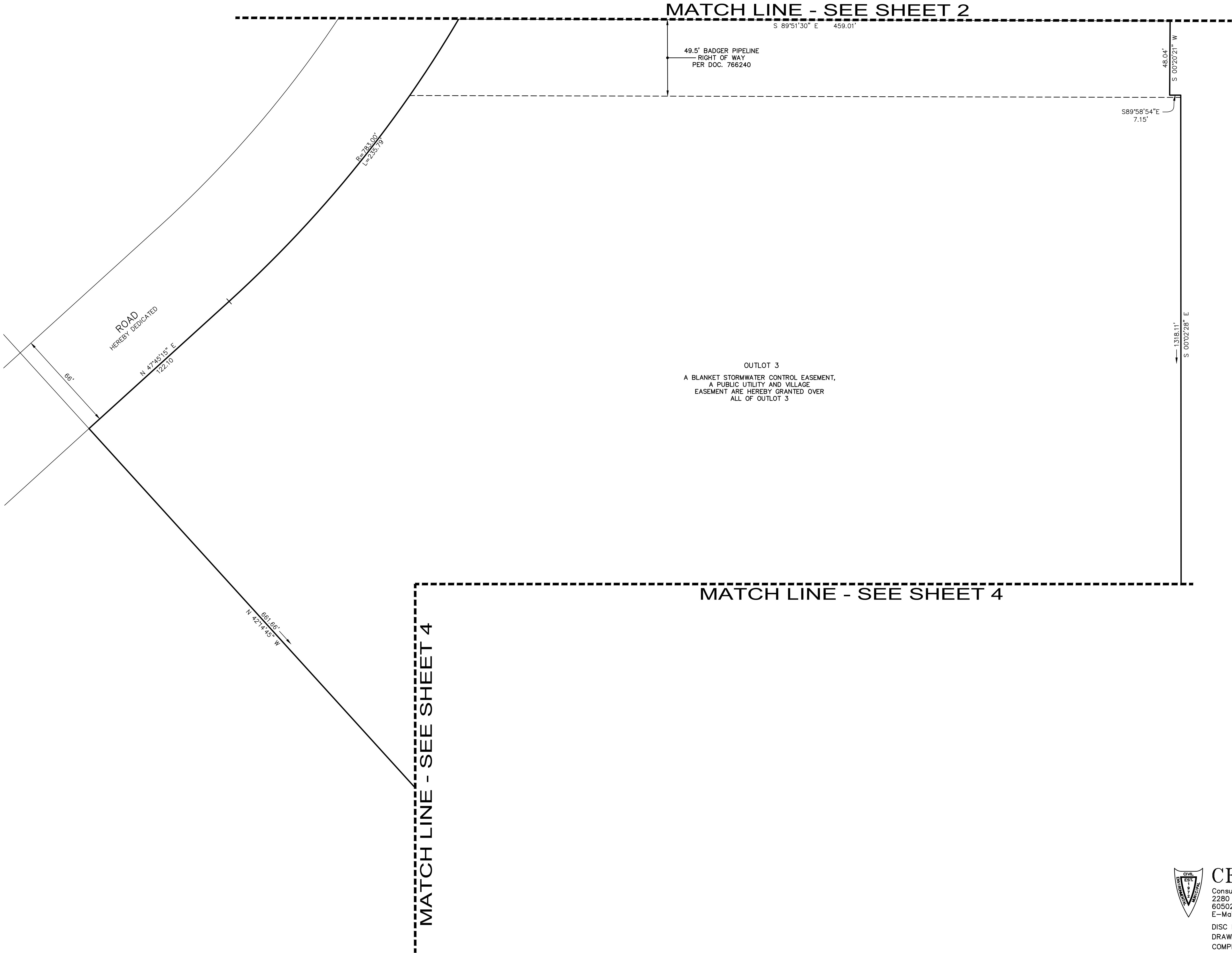
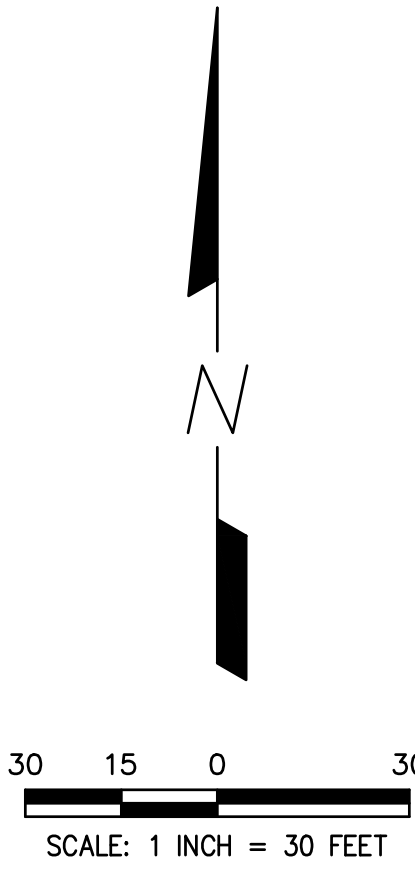
CHECKED BY: JRP 03-31-26
REVISED 06-24-26/AJB PER VILLAGE COMMENTS DATED 06-15-26
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CURVE TABLE				
CURVE	LENGTH	RADIUS	CHORD BEARING	CHORD BEARING
C1	15.63'	230.00'	S 76°59'40" E	15.63'



PLOT FILE CREATED: 6/24/2026 BY: TONY BLUS
DRAWING PATH: P:\456279\SURVEY\DRAWINGS\PLATS\SUBPLAT-R_C3D.DWG



PREPARED BY:
CEMCON, Ltd.
Consulting Engineers, Land Surveyors & Planners
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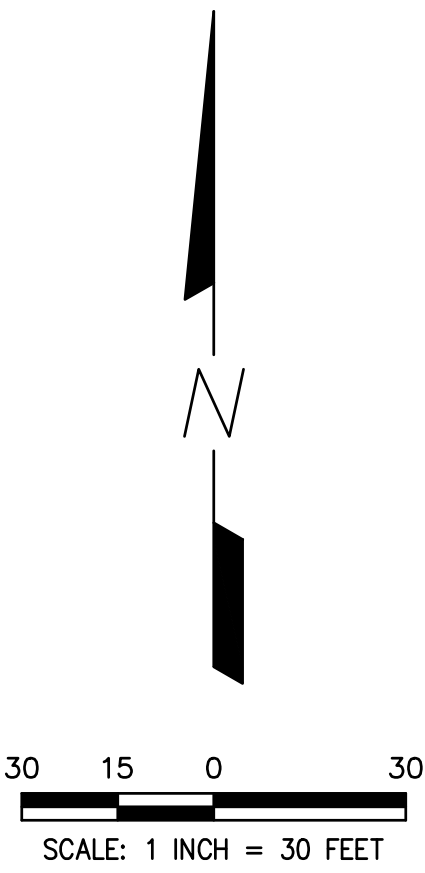
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CHECKED BY: JRP 03-31-26
REVISED 06-24-26\AJB PER VILLAGE COMMENTS DATED 06-15-26
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PLOT FILE CREATED: 6/24/2026 BY: TONY BLUS
DRAWING PATH: F:\456279\SURVEY\DRAWINGS\PLATS\SUBPLAT-R.DWG

---MATCH LINE - SEE SHEET 3

MATCH LINE - SEE SHEET 3

SHEET 4 OF 5



661.66'
N 42°14'45" W

1318.11'

OUTLOT 3
A BLANKET STORMWATER CONTROL EASEMENT,
A PUBLIC UTILITY AND VILLAGE
EASEMENT ARE HEREBY GRANTED OVER
ALL OF OUTLOT 3

N 00°01'22" E
613.07'

260.84'
N 89°58'38" W



PREPARED BY:
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Consulting Engineers, Land Surveyors & Planners
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FINAL PLAT OF SUBDIVISION
OF
OAKSTEAD SUBDIVISION
NEIGHBORHOOD R

PART SOUTHWEST QUARTER OF SECTION 18 AND THE NORTHWEST QUARTER OF SECTION 19, BOTH IN
TOWNSHIP 42 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN KANE COUNTY, ILLINOIS.

OWNERSHIP CERTIFICATE

STATE OF ILLINOIS)
SS
COUNTY OF DUPAGE)

THIS IS TO CERTIFY THAT HAMPSHIRE EAST, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY, IS THE FEE, SIMPLE OWNER OF THE PROPERTY DESCRIBED IN THE FOREGOING SURVEYOR'S CERTIFICATE AND HAS CAUSED THE SAME TO BE SURVEYED, SUBDIVIDED, AND PLATTED AS SHOWN HEREON FOR THE USES AND PURPOSES HEREIN SET FORTH AS ALLOWED AND PROVIDED FOR BY STATUTE, AND DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE THEREON INDICATED.

THE UNDERSIGNED HEREBY DEDICATES FOR PUBLIC USE THE LANDS INDICATED ON THIS PLAT AS THOROUGHFARES, STREETS, ALLEYS AND PUBLIC SERVICES; AND HEREBY ALSO RESERVES FOR ANY ELECTRIC, GAS, TELEPHONE, CABLE TV OR OTHER TELECOMMUNICATIONS COMPANY UNDER FRANCHISE AGREEMENT WITH THE VILLAGE OF HAMPSHIRE, THEIR SUCCESSORS AND ASSIGNS, THE EASEMENT PROVISIONS WHICH ARE STATED HEREON.

THE UNDERSIGNED, FURTHER CERTIFIES THAT ALL OF THE LAND INCLUDED IN THIS PLAT LIES WITHIN THE BOUNDARIES OF COMMUNITY UNIT SCHOOL DISTRICT 300.

DATED AT NAPERVILLE, IL DUPAGE COUNTY, ILLINOIS

HAMPSHIRE EAST LLC
1751A WEST DIEHL ROAD
NAPERVILLE, IL 60563

_____	_____
TITLE	TITLE
_____	_____
PRINTED NAME	PRINTED NAME

NOTARY CERTIFICATE

STATE OF ILLINOIS)
SS
COUNTY OF DUPAGE)

I, _____, A NOTARY PUBLIC IN AND FOR THE COUNTY AND STATE AFORESAID, DO HEREBY CERTIFY THAT _____ AND _____ PERSONALLY KNOWN TO ME TO BE THE PRESIDENT AND SECRETARY OF HAMPSHIRE WEST, LLC, AS SHOWN ABOVE, APPEARED BEFORE ME THIS DAY AND ACKNOWLEDGED THAT AS SUCH OFFICERS, THEY SIGNED AND DELIVERED THE SAID INSTRUMENT AND CAUSED THE CORPORATE SEAL TO BE AFFIXED THERETO AS THEIR FREE AND VOLUNTARY ACT AND AS THE FREE AND VOLUNTARY ACT OF SAID CORPORATION, FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARIAL SEAL

THIS ____ DAY OF _____, 20____.

_____ NOTARY PUBLIC

VILLAGE ENGINEER'S CERTIFICATE

STATE OF ILLINOIS)
SS
COUNTY OF KANE)

I, _____, VILLAGE ENGINEER FOR THE VILLAGE OF HAMPSHIRE, DO HEREBY CERTIFY THAT THE REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED OR THE REQUIRED GUARANTEE COLLATERAL HAS BEEN POSTED FOR THE COMPLETION OF ALL REQUIRED IMPROVEMENTS.

DATED AT HAMPSHIRE, ILLINOIS THIS ____ DAY OF _____, 20____.

VILLAGE ENGINEER

KANE COUNTY CLERK'S CERTIFICATE

STATE OF ILLINOIS)
SS
COUNTY OF KANE)

I, _____, COUNTY CLERK OF KANE COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT GENERAL TAXES, NO UNPAID CURRENT TAXES, NO UNPAID FORFEITED TAXES, AND NO REDEEMABLE TAX SALES AGAINST ANY OF THE LAND IN THE PLAT HEREIN DRAWN. I FURTHER CERTIFY THAT I HAVE RECEIVED ALL STATUTORY FEES IN CONNECTION WITH THE ANNEXED PLAT.

GIVEN UNDER MY HAND AND SEAL OF THE COUNTY CLERK AT GENEVA, ILLINOIS, THIS ____ DAY OF _____, A.D., 20____.

VILLAGE COLLECTOR'S CERTIFICATE

STATE OF ILLINOIS)
SS
COUNTY OF KANE)

I, _____, VILLAGE COLLECTOR OF THE VILLAGE OF HAMPSHIRE, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT OR UNPAID CURRENT OR FORFEITED SPECIAL ASSESSMENTS OR ANY DEFERRED INSTALLMENTS THEREOF THAT HAVE BEEN APPORTIONED AGAINST THE TRACT OF LAND INCLUDED IN THIS PLAT.

DATED AT HAMPSHIRE, KANE COUNTY, ILLINOIS.

THIS ____ DAY OF _____, 20____.

VILLAGE COLLECTOR

VILLAGE BOARD CERTIFICATE

STATE OF ILLINOIS)
SS
COUNTY OF KANE)

APPROVED BY THE PRESIDENT AND THE BOARD OF TRUSTEES OF THE VILLAGE OF HAMPSHIRE, ILLINOIS,

THIS ____ DAY OF _____, 20____.

VILLAGE PRESIDENT: _____

ATTEST: _____

GENERAL PROVISIONS COMMON TO ALL EASEMENTS:

NO FENCE, SHED OR ANY STRUCTURE SHALL BE ERECTED WITHIN AN EASEMENT THAT WILL OBSTRUCT OR PROHIBIT THE OVERLAND FLOW OF STORMWATER, OR OBSTRUCT, IMPEDE, OR PRECLUDE READY ACCESS TO ANY UTILITY FACILITY OR APPURTENANCE, SUCH AS AN EQUIPMENT BOX, A CATCH BASIN, OR ANY OTHER SUCH FACILITY OR APPURTENANCE.

THE VILLAGE OF HAMPSHIRE AND ITS REPRESENTATIVES SHALL, AT THEIR SOLE DISCRETION, REQUIRE ANY FENCE, STRUCTURE OR OTHER OBSTRUCTION THAT IS ERECTED WITHIN A PUBLIC UTILITY EASEMENT, VILLAGE UTILITY EASEMENT, UTILITY EASEMENT, DRAINAGE EASEMENT OR EASEMENT FOR STORMWATER DETENTION BASIN, BE REMOVED AT NO COST TO THE VILLAGE. THE COST OF REMOVAL AND REPLACEMENT OF ANY OBSTRUCTION SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER.

PUBLIC UTILITY EASEMENT PROVISIONS
(ELECTRIC AND COMMUNICATION)

COMMONWEALTH EDISON COMPANY, AMERITECH, MEDIACOM, AND OTHER UTILITY COMPANIES PROVIDING ELECTRIC AND COMMUNICATIONS SERVICES, THEIR RESPECTIVE SUCCESSORS AND ASSIGNS, JOINTLY OR SEVERALLY ARE HEREBY GIVEN EASEMENT RIGHTS TO ALL PLATTED EASEMENTS DESIGNATED "PUBLIC UTILITY EASEMENTS" AND JOINTLY WITH VILLAGE UTILITIES TO ALL PLATTED EASEMENTS DESIGNATED "UTILITY EASEMENTS" TOGETHER WITH THE RIGHT OF ACCESS THERETO AND TO ALL PLATTED STREETS AND ALLEYS TO INSTALL, OPERATE, MAINTAIN AND REMOVE, FROM TIME TO TIME, FACILITIES USED IN CONNECTION WITH THE TRANSMISSION AND DISTRIBUTION OF ELECTRICITY AND SOUNDS AND SIGNALS, TOGETHER WITH THE RIGHT TO INSTALL REQUIRED SERVICE CONNECTIONS TO SERVE THE IMPROVEMENTS OF EACH LOT, THE RIGHT TO CUT DOWN AND REMOVE OR TRIM AND KEEP TRIMMED ANY TREES, SHRUBS OR SAPLINGS THAT INTERFERE OR THREATEN TO INTERFERE WITH ANY OF SAID PUBLIC UTILITY EQUIPMENT. THE LOCATION OF FACILITIES IN PLATTED STREETS AND ALLEYS SHALL NOT CONFLICT WITH PUBLIC IMPROVEMENTS AND SHALL BE SUBJECT TO VILLAGE APPROVAL. NO PERMANENT BUILDINGS OR TREES SHALL BE PLACED ON SAID EASEMENT, BUT SAME MAY BE USED FOR GARDENS, SHRUBS, LANDSCAPING AND OTHER PURPOSES THAT DO NOT THEN OR LATER INTERFERE WITH THE AFORESAID USES OR THE RIGHTS HEREIN GRANTED. ALL UTILITY LINES SHALL BE CONSTRUCTED UNDERGROUND. NO OVERHEAD LINES WILL BE PERMITTED.

PUBLIC UTILITY EASEMENT PROVISIONS
(NICOR)

NICOR, ITS SUCCESSOR AND ASSIGNS, IS HEREBY GIVEN EASEMENT RIGHTS TO ALL PLATTED STREETS AND ALLEYS. SAID EASEMENT TO BE FOR THE INSTALLATION, RELOCATION, RENEWAL AND REMOVAL OF GAS MAINS AND APPURTENANCES. LOCATION OF MAINS AND APPURTENANCES SHALL NOT CONFLICT WITH PUBLIC IMPROVEMENTS AND SHALL BE SUBJECT TO VILLAGE APPROVAL.

DRAINAGE EASEMENT PROVISIONS

THE VILLAGE OF HAMPSHIRE IS HEREBY GIVEN EASEMENT RIGHTS TO ALL PLATTED EASEMENTS DESIGNATED "DRAINAGE EASEMENT" OR "DE" TO INSTALL, OPERATE AND MAINTAIN UNDERGROUND AND SURFACE DRAINAGE FACILITIES AND WATERCOURSES. SAID EASEMENTS SHALL BE USED FOR NO OTHER PURPOSE EXCEPT AS EXPRESSLY AUTHORIZED BY THE VILLAGE. NO PERMANENT BUILDINGS SHALL BE PLACED ON SAID EASEMENT, BUT SAME MAY BE USED FOR GARDENS, SHRUBS, LANDSCAPING AND OTHER PURPOSES THAT DO NOT THEN OR LATER INTERFERE WITH THE AFORESAID USES OR THE RIGHTS HEREIN GRANTED.

VILLAGE UTILITY EASEMENT PROVISIONS

THE VILLAGE OF HAMPSHIRE IS HEREBY GIVEN EASEMENT RIGHTS TO ALL PLATTED EASEMENTS DESIGNATED "VILLAGE UTILITY EASEMENT", TOGETHER WITH THE RIGHT OF ACCESS THERETO. SAID EASEMENTS SHALL BE USED SOLELY TO INSTALL, OPERATE, MAINTAIN AND REMOVE FROM TIME TO TIME, ABOVE GROUND AND UNDERGROUND FACILITIES AND APPURTENANCES USED IN CONNECTION WITH THE WATER SYSTEM, SANITARY SEWER SYSTEM AND STORM DRAINAGE SYSTEM OF THE VILLAGE OF HAMPSHIRE. THESE EASEMENTS MAY BE GRADED AS SWALES TO RECEIVE LOCAL SURFACE DRAINAGE. NO PERMANENT BUILDING SHALL BE PLACED ON SAID EASEMENT, BUT THE SAME MAY BE USED FOR GARDENS, SHRUBS, LANDSCAPING AND OTHER PURPOSES THAT DO NOT THEN OR LATER INTERFERE WITH THE AFORESAID USES OR RIGHTS HEREIN GRANTED. TREES SHALL ONLY BE ALLOWED TO BE PLACED IN SUCH LOCATIONS IN THE EASEMENT AS ARE APPROVED BY THE VILLAGE STAFF TO AVOID ACTUAL CONFLICTS WITH UTILITIES.

THE VILLAGE OF HAMPSHIRE AND ITS REPRESENTATIVES SHALL, AT THEIR SOLE DISCRETION, REQUIRE ANY FENCE, STRUCTURE OR OTHER OBSTRUCTION THAT IS ERECTED WITHIN A VILLAGE UTILITY EASEMENT, BE REMOVED AT NO COST TO THE VILLAGE. THE COST OF REMOVAL AND REPLACEMENT OF ANY OBSTRUCTION AND ANY OTHER VILLAGE EXPENSES ASSOCIATED THEREWITH SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER OF THE PROPERTY UPON WHICH THE EASEMENT OBSTRUCTION IS LOCATED.

THE VILLAGE SHALL HAVE NO OBLIGATION WITH RESPECT TO SURFACE RESTORATION, INCLUDING BUT NOT LIMITED TO, THE LAWN OR SHRUBBERY, PROVIDED, HOWEVER, THAT THE VILLAGE SHALL BE OBLIGATED FOLLOWING MAINTENANCE WORK TO 1) STABILIZE ALL SURFACES (IN ANY MANNER SUITABLE TO THE VILLAGE) SO AS TO RETAIN SUITABLE DRAINAGE, 2) TO REMOVE ALL EXCESS DEBRIS AND SPOIL AND 3) TO LEAVE THE MAINTENANCE AREA IN A GENERALLY CLEAN AND WORKMANLIKE CONDITION.

STORMWATER MANAGEMENT EASEMENT PROVISIONS

AN EASEMENT IS HEREBY RESERVED FOR AND GRANTED TO THE VILLAGE OF HAMPSHIRE AND TO ITS SUCCESSORS AND ASSIGNS, OVER ALL OF THE AREAS MARKED "STORMWATER MANAGEMENT EASEMENT" (abbreviated S.M.E.) ON THE PLAT FOR THE PERPETUAL RIGHT, PRIVILEGE, AND AUTHORITY TO SURVEY, CONSTRUCT, RECONSTRUCT, REPAIR, INSPECT, MAINTAIN AND OPERATE STORM SEWERS AND THE STORMWATER MANAGEMENT AREA, TOGETHER WITH ANY AND ALL NECESSARY MANHOLES, CATCH BASINS, SANITARY SEWERS, WATER MAINS, ELECTRIC AND COMMUNICATION CABLES, CONNECTIONS, DITCHES, SWALES, AND OTHER STRUCTURES AND APPURTENANCES AS MAY BE DEEMED NECESSARY BY SAID VILLAGE, OVER, UPON, ALONG, UNDER AND THROUGH SAID INDICATED EASEMENT, TOGETHER WITH THE RIGHT OF ACCESS ACROSS THE PROPERTY FOR NECESSARY MEN AND EQUIPMENT TO DO ANY OF THE ABOVE WORK. THE RIGHT IS ALSO GRANTED TO CUT DOWN, TRIM OR REMOVE ANY TREES, SHRUBS OR OTHER PLANTS ON THE EASEMENT THAT INTERFERE WITH THE OPERATION OF SEWERS OR OTHER UTILITIES. NO PERMANENT BUILDINGS SHALL BE PLACED ON SAID EASEMENT. NO CHANGE TO THE TOPOGRAPHY OR STORMWATER MANAGEMENT STRUCTURES WITHIN THE EASEMENT AREA SHALL BE MADE WITHOUT EXPRESS WRITTEN CONSENT OF THE VILLAGE ENGINEER, BUT SAME MAY BE USED FOR PURPOSES THAT DO NOT THEN OR LATER INTERFERE WITH THE AFORESAID USES OR RIGHTS.

THE OWNER OF THE PROPERTY SHALL REMAIN RESPONSIBLE FOR THE MAINTENANCE OF THE STORMWATER MANAGEMENT AREA AND APPURTENANCES. THE VILLAGE OF HAMPSHIRE WILL PERFORM ONLY EMERGENCY PROCEDURES AS DEEMED NECESSARY BY THE VILLAGE ENGINEER OF THE VILLAGE OF HAMPSHIRE.

SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS)
SS
COUNTY OF DUPAGE)

THIS IS TO CERTIFY THAT I, JEFFREY R. PANKOW, ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3483, AT THE REQUEST OF THE OWNER(S) THEREOF, HAVE SURVEYED, SUBDIVIDED AND PLATTED THE FOLLOWING DESCRIBED PROPERTY:

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 18 AND THE NORTHWEST QUARTER OF SECTION 19, BOTH IN TOWNSHIP 42 NORTH, RANGE 7 EAST OF THE THIRD MERIDIAN DESCRIBED AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF THE NORTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 19 AND THE WEST LINE OF THE EAST HALF OF THE NORTHEAST QUARTER OF SAID NORTHWEST QUARTER; THENCE SOUTH 00 DEGREES 02 MINUTES 28 SECONDS EAST, 1318.11 FEET ALONG SAID WEST LINE TO THE NORTH LINE OF THE WEST HALF OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 19; THENCE NORTH 89 DEGREES 58 MINUTES 38 SECONDS WEST, 260.84 FEET ALONG SAID NORTH LINE; THENCE NORTH 00 DEGREES 01 MINUTE 22 SECONDS EAST, 613.07 FEET; THENCE NORTH 42 DEGREES 14 MINUTES 45 SECONDS WEST, 661.66 FEET; THENCE NORTH 47 DEGREES 45 MINUTES 15 SECONDS EAST, 122.10 FEET; THENCE NORTHEASTERLY, 647.97 FEET ALONG A CURVE TO THE LEFT, HAVING A RADIUS OF 783.00 FEET AND A CHORD BEARING NORTH 24 DEGREES 02 MINUTES 48 SECONDS EAST; THENCE NORTH 00 DEGREES 20 MINUTES 21 SECONDS EAST, 564.55 FEET; THENCE NORTHERLY, 156.86 FEET ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 684.00 FEET AND A CHORD BEARING NORTH 06 DEGREES 54 MINUTES 32 SECONDS EAST; THENCE SOUTH 78 DEGREES 56 MINUTES 30 SECONDS EAST, 20.22 FEET; THENCE SOUTHEASTERLY, 15.63 FEET ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 230.00 FEET AND A CHORD BEARING SOUTH 76 DEGREES 59 MINUTES 40 SECONDS EAST; THENCE NORTH 34 DEGREES 45 MINUTES 56 SECONDS EAST, 102.59 FEET; THENCE NORTH 79 DEGREES 45 MINUTES 56 SECONDS EAST, 14.14 FEET; THENCE SOUTH 55 DEGREES 14 MINUTES 04 SECONDS EAST, 144.51 FEET; THENCE SOUTH 29 DEGREES 02 MINUTES 07 SECONDS EAST, 221.94 FEET TO THE WEST LINE OF A PROPERTY DESCRIBED IN A TRUSTEE'S DEED RECORDED AS DOCUMENT 90K35649; THENCE SOUTH 00 DEGREES 20 MINUTES 21 SECONDS WEST, 964.83 FEET ALONG SAID WEST LINE TO THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 18; THENCE SOUTH 89 DEGREES 58 MINUTES 54 SECONDS EAST, 7.15 FEET ALONG SAID SOUTH LINE TO THE POINT OF BEGINNING, IN KANE COUNTY, ILLINOIS.

I FURTHER CERTIFY THAT THE PLAT HEREON DRAWN WAS PREPARED IN ACCORDANCE WITH THE PLAT ACT AND THE ILLINOIS ADMINISTRATIVE CODE, SECTION 1270.56 MINIMUM STANDARDS OF PRACTICE. ALL DISTANCES ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.

I FURTHER CERTIFY THAT PART OF THE ABOVE-DESCRIBED PROPERTY IS LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA AS IDENTIFIED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY BASED ON FIRM 17089C130J, DATED JUNE 2, 2015. BUT THAT ALL SPECIAL FLOOD HAZARD AREAS ARE CONTAINED IN STORMWATER MANAGEMENT EASEMENTS OR LAND TO BE CONVEYED TO THE VILLAGE OF HAMPSHIRE AND THAT NO PARTS OF LOTS 455 THROUGH 472 (INCLUSIVE) ARE LOCATED WITHIN SAID SPECIAL FLOOD HAZARD AREA.

I FURTHER CERTIFY THAT ALL SUBDIVISION MONUMENTS WILL BE SET, AND I HAVE DESCRIBED THEM ON THIS FINAL PLAT AS REQUIRED BY THE PLAT ACT (765 ILCS 205/). THE EXTERIOR SUBDIVISION MONUMENTS HAVE BEEN SET AND INTERIOR MONUMENTS WILL BE SET WITHIN 12 MONTHS OF THE RECORDING OF THIS PLAT (SECTION 1270-56 OF THE ILLINOIS PROFESSIONAL LAND SURVEYOR ACT OF 1989).

I FURTHER CERTIFY THAT THE PROPERTY SHOWN ON THE PLAT HEREON DRAWN IS SITUATED WITHIN THE CORPORATE LIMITS OF THE VILLAGE OF HAMPSHIRE, ILLINOIS, WHICH IS EXERCISING THE SPECIAL POWERS AUTHORIZED BY DIVISION 12 OF ARTICLE 11 OF THE ILLINOIS MUNICIPAL CODE AS AMENDED.

GIVEN UNDER MY HAND AND SEAL AT AURORA, ILLINOIS,

THIS ____TH DAY OF _____, 20____.

ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3483
MY REGISTRATION EXPIRES ON NOVEMBER 30, 2026
PROFESSIONAL DESIGN FIRM LICENSE NO. 184-002937
EXPIRATION DATE IS APRIL 30, 2027



PREPARED BY:

CEMCON, Ltd.

Consulting Engineers, Land Surveyors & Planners
2280 White Oak Circle, Suite 100 Aurora, Illinois
60502-9675 PH: 630.862.2100 FAX: 630.862.2199
E-Mail: info@cemcon.com Website: www.cemcon.com

DISC NO.: 456279 FILE NAME: SUBPLAT-R
DRAWN BY: AJB FLD. BK. / PG. NO.: N/A
COMPLETION DATE: 03-25-26 JOB NO.: 456.279
PROJECT REFERENCE: 456.209 & 456.267
CHECKED BY: JRP 03-31-26
REVISED 06-24-26\AJB PER VILLAGE COMMENTS DATED 06-15-26

(CITY/TOWN) (STATE) (ZIP CODE)

RESOLUTION APPROVING A FINAL PLAT OF
SUBDIVISION FOR OAKSTEAD SUBDIVISION NEIGHBORHOOD S

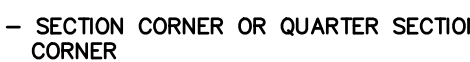
CURVE TABLE				
CURVE	LENGTH	RADIUS	CHORD BEARING	CHORD LENGTH
C1	77.00'	5208.79'	S 50°04'40" E	77.00'
C2	15.63'	230.00'	N 76°59'40" W	15.63'
C3	156.86'	684.00'	S 06°54'32" W	156.52'

(MORE OR LESS)

PART OF 01-13-400-006
PART OF 02-18-300-002
PART OF 02-19-100-003
PART OF 02-19-100-004
HAMPSHIRE, ILLINOIS

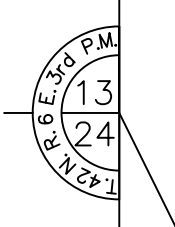
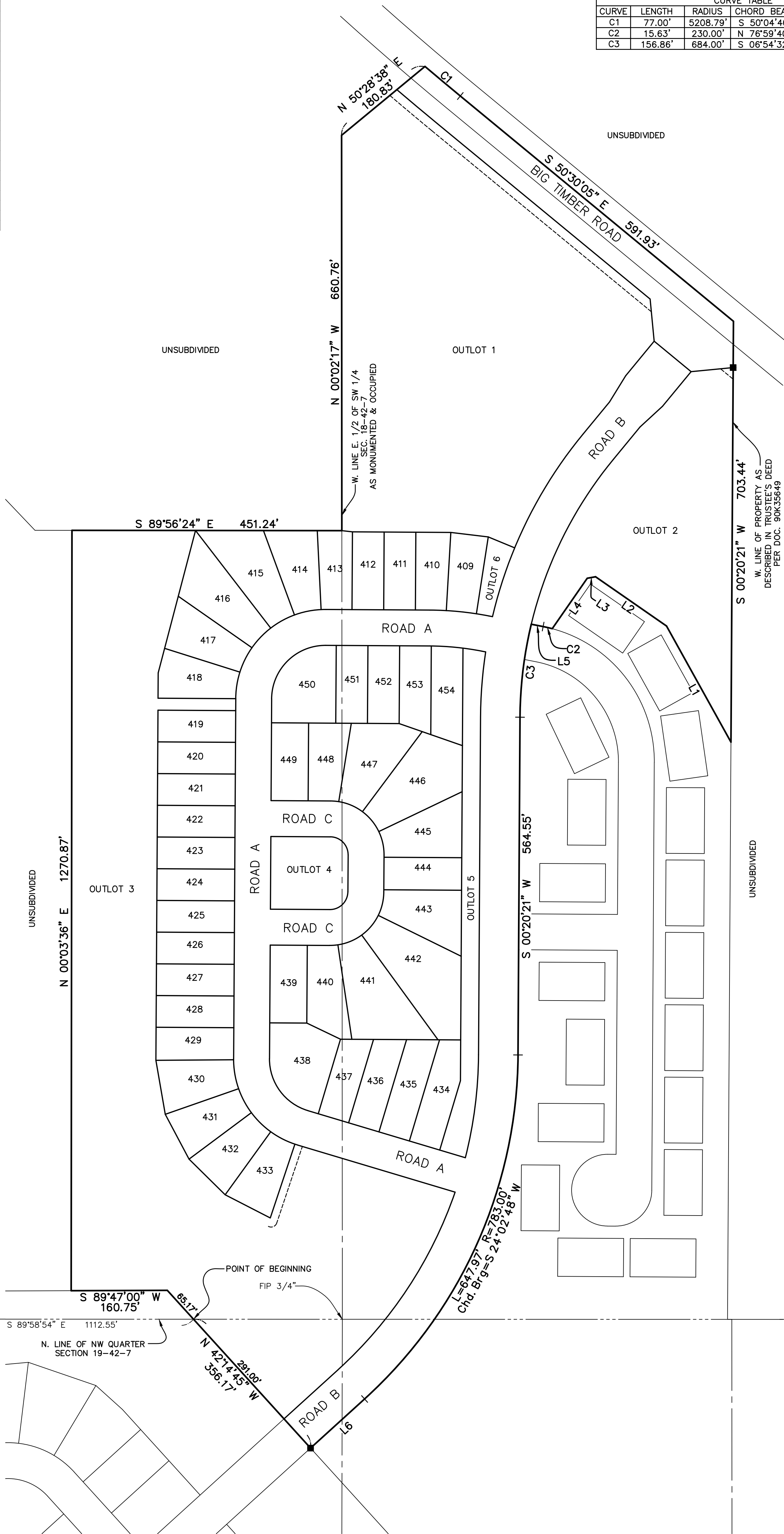
OUTLOTS 2-6 TO BE OWNED AND MAINTAINED BY THE
HOMEOWNERS ASSOCIATION.

- SUBDIVISION BOUNDARY LINE
(Heavy Solid Line)
- LOT LINE/PROPERTY LINE
(Solid Line)
- ADJACENT LOT LINE/PROPERTY LINE
(Light Solid Line)
- BUILDING LINE
(Long Dashed Lines)
- EASEMENT LINE/LIMITS OF EASEMENT
(Short Dashed Lines)
- CENTERLINE
(Single Dashed Lines)
- QUARTER SECTION LINE
(Double Dashed Lines)
- SECTION LINE
(Triple Dashed Lines)
- — SET CONCRETE MONUMENT



LOT AREA SUMMARY TABLE			
LOT NUMBER	SQ. FT.	LOT NUMBER	SQ. FT.
409	7,385	435	8,944
410	7,169	436	8,122
411	6,890	437	7,307
412	6,890	438	13,071
413	7,267	439	8,060
414	9,263	440	9,187
415	12,586	441	15,812
416	12,586	442	18,103
417	9,262	443	10,379
418	8,524	444	7,071
419	6,890	445	10,379
420	6,890	446	15,232
421	6,890	447	11,867
422	6,890	448	7,982
423	6,890	449	8,060
424	6,890	450	12,231
425	6,890	451	6,890
426	6,890	452	6,890
427	6,890	453	7,370
428	6,890	454	8,268
429	7,071	OUTLOT 1	269,169
430	8,955	OUTLOT 2	100,621
431	8,315	OUTLOT 3	329,855
432	8,315	OUTLOT 4	15,344
433	8,315	OUTLOT 5	26,711
434	9,087	OUTLOT 6	4,457

1. THERE SHALL BE NO DIRECT VEHICULAR ACCESS TO BIG TIMBER ROAD FROM OUTLOT 1 OR OUTLOT 2.
2. THERE SHALL BE NO DIRECT VEHICULAR ACCESS TO ROAD B WITHIN 500 FEET OF BIG TIMBER ROAD.

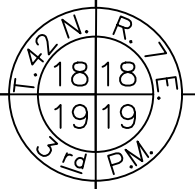


F.I.R. 9/16"
0.08' W.
PER MON. REC
2002K037383

S. LINE OF SW QUARTER
SECTION 18, 19, 7

COMMENCEMENT

FIR 9/16
AS CALLED FOR
MON. REC. 91K20815



FIR 5/8" PER
MON. REC. 91K20814

PREPARED BY:

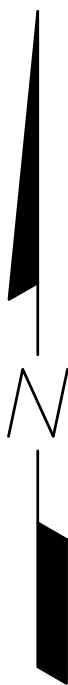


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E-Mail: info@cemcon.com Website: www.cemcon.com

DISC NO.: 456279 FILE NAME: SUBPLAT-S
DRAWN BY: AJB FLD. BK. / PG. NO.: N/A
COMPLETION DATE: 03-11-26 JOB NO.: 456.279

CHECKED BY: JRP 03-02-26
 REVISED 06-25-26\AJB PER COMMENTS DATED 06-15-26
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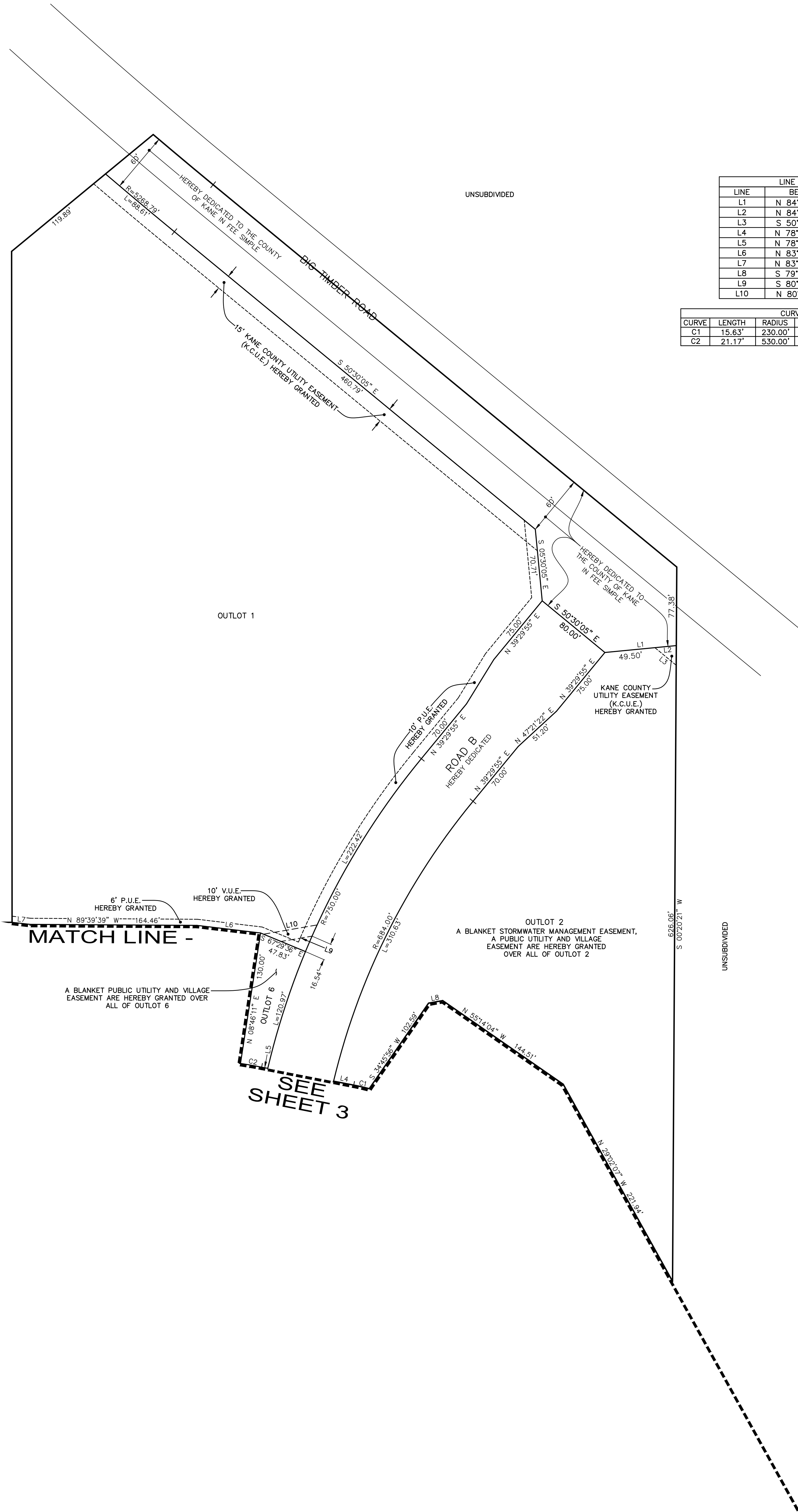
LINE TABLE		
LINE	BEARING	LENGTH
L1	N 84°29'55" E	70.71'
L2	N 84°29'55" E	21.21'
L3	S 50°30'05" E	27.22'
L4	N 78°56'30" W	20.22'
L5	N 78°56'30" W	6.16'
L6	N 83°10'07" W	63.08'
L7	N 83°34'49" W	17.88'
L8	S 79°45'56" W	14.14'
L9	S 80°12'52" W	30.96'
L10	N 80°12'52" E	53.53'

CURVE TABLE				
CURVE	LENGTH	RADIUS	CHORD BEARING	CHORD LENGTH
C1	15.63'	230.00'	N 76°59'40" W	15.63'
C2	21.17'	530.00'	N 80°05'10" W	21.17'

UNSUBDIVIDED

UNSUBDIVIDED

UNSUBDIVIDED



MATCH LINE -

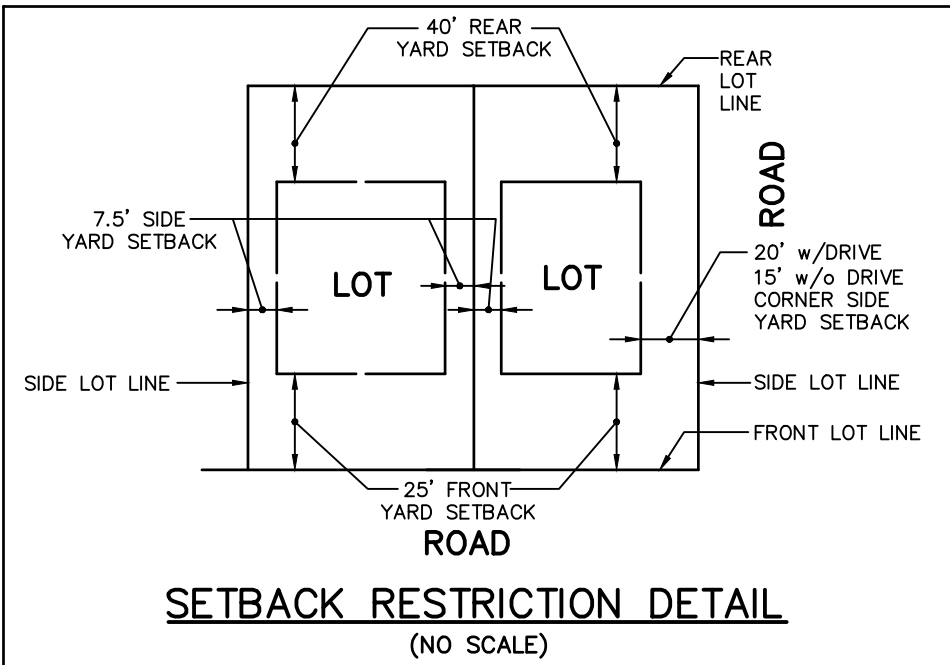
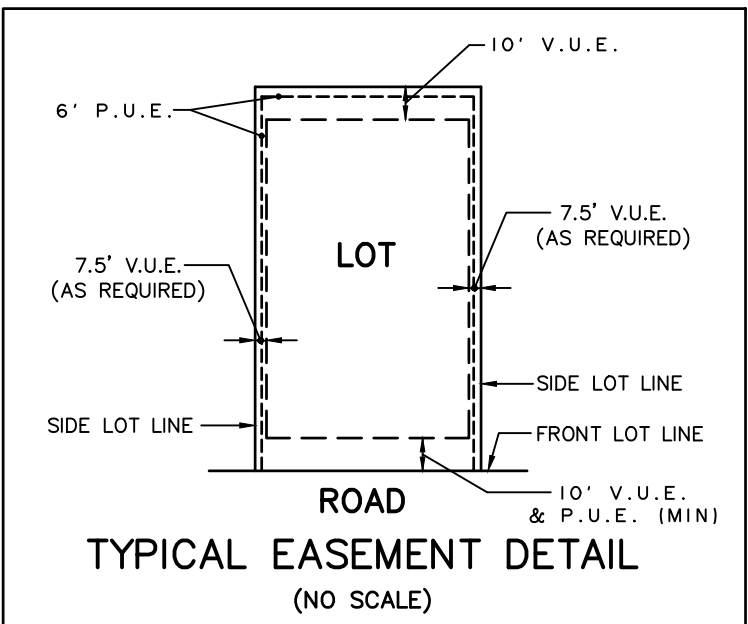
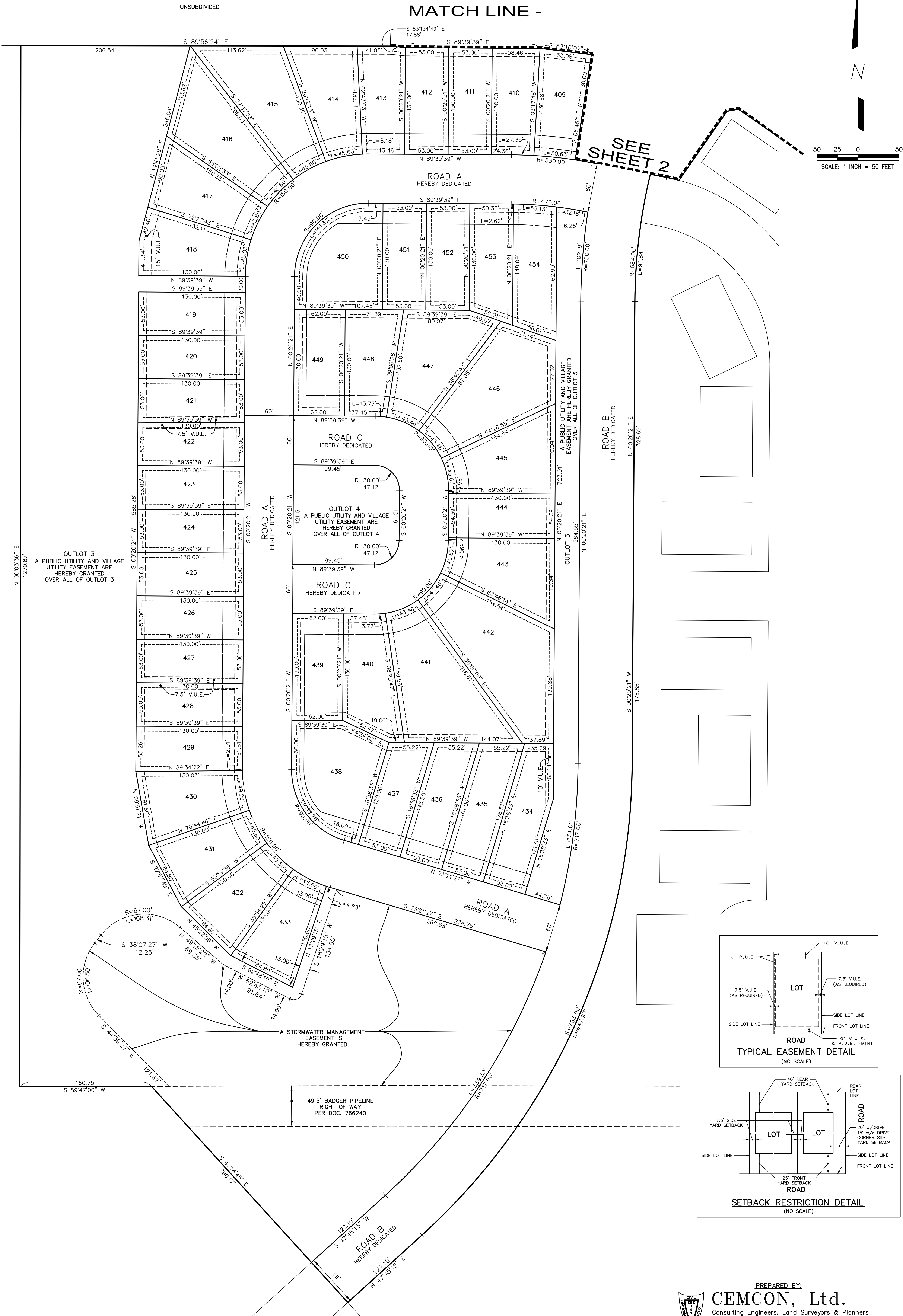
SEE SHEET 3



PREPARED BY:
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FINAL PLAT OF SUBDIVISION
OF
OAKSTEAD SUBDIVISION
NEIGHBORHOOD S

PART SOUTHWEST QUARTER OF SECTION 18 AND THE NORTHWEST QUARTER OF SECTION 19, BOTH IN
TOWNSHIP 42 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN KANE COUNTY, ILLINOIS.

SHEET 4 OF 4

OWNERSHIP CERTIFICATE

STATE OF ILLINOIS)
SS
COUNTY OF DUPAGE)

THIS IS TO CERTIFY THAT HAMPSHIRE EAST, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY, IS THE FEE SIMPLE OWNER OF THE PROPERTY DESCRIBED IN THE FOREGOING SURVEYOR'S CERTIFICATE AND HAS CAUSED THE SAME TO BE SURVEYED, SUBDIVIDED, AND PLATTED AS SHOWN HEREON FOR THE USES AND PURPOSES HEREIN SET FORTH AS ALLOWED AND PROVIDED FOR BY STATUTE, AND DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE THEREON INDICATED.

THE UNDERSIGNED HEREBY DEDICATES FOR PUBLIC USE THE LANDS INDICATED ON THIS PLAT AS THOROUGHFARES, STREETS, ALLEYS AND PUBLIC SERVICES; AND HEREBY ALSO RESERVES FOR ANY ELECTRIC, GAS, TELEPHONE, CABLE TV OR OTHER TELECOMMUNICATIONS COMPANY UNDER FRANCHISE AGREEMENT WITH THE VILLAGE OF HAMPSHIRE, THEIR SUCCESSORS AND ASSIGNS, THE EASEMENT PROVISIONS WHICH ARE STATED HEREON.

THE UNDERSIGNED, FURTHER CERTIFIES THAT ALL OF THE LAND INCLUDED IN THIS PLAT LIES WITHIN THE BOUNDARIES OF COMMUNITY UNIT SCHOOL DISTRICT 300.

DATED AT NAPERVILLE, IL DUPAGE COUNTY, ILLINOIS

HAMPSHIRE EAST LLC
1751A WEST DIEHL ROAD
NAPERVILLE, IL 60563

TITLE

PRINTED NAME

PRINTED NAME

NOTARY CERTIFICATE

STATE OF ILLINOIS)
SS
COUNTY OF DUPAGE)

I, _____, A NOTARY PUBLIC IN AND FOR THE COUNTY
AND STATE AFORESAID, DO HEREBY CERTIFY THAT
AND _____ PERSONALLY KNOWN TO ME TO BE THE
PRESIDENT AND SECRETARY OF HAMPSHIRE WEST, LLC, AS SHOWN ABOVE,
APPEARED BEFORE ME THIS DAY AND ACKNOWLEDGED THAT AS SUCH
OFFICERS, THEY SIGNED AND DELIVERED THE SAID INSTRUMENT AND CAUSED
THE CORPORATE SEAL TO BE AFFIXED THERETO AS THEIR FREE AND
VOLUNTARY ACT AND AS THE FREE AND VOLUNTARY ACT OF SAID
CORPORATION, FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARIAL SEAL

THIS ____ DAY OF _____, 20____

NOTARY PUBLIC

VILLAGE ENGINEER'S CERTIFICATE

STATE OF ILLINOIS)
SS
COUNTY OF KANE)

I, _____, VILLAGE ENGINEER FOR
THE VILLAGE OF HAMPSHIRE, DO HEREBY CERTIFY THAT THE REQUIRED
IMPROVEMENTS HAVE BEEN INSTALLED OR THE REQUIRED GUARANTEE
COLLATERAL HAS BEEN POSTED FOR THE COMPLETION OF ALL REQUIRED
IMPROVEMENTS.

DATED AT HAMPSHIRE, ILLINOIS THIS ____ DAY OF _____, 20____.

VILLAGE ENGINEER

KANE COUNTY CLERK'S CERTIFICATE

STATE OF ILLINOIS)
SS.
COUNTY OF KANE)

I, _____, COUNTY CLERK OF KANE
COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT
GENERAL TAXES, NO UNPAID CURRENT TAXES, NO UNPAID FORFEITED
TAXES, AND NO REDEEMABLE TAX SALES AGAINST ANY OF THE LAND IN
THE PLAT HEREIN DRAWN. I FURTHER CERTIFY THAT I HAVE RECEIVED ALL
STATUTORY FEES IN CONNECTION WITH THE ANNEXED PLAT.

GIVEN UNDER MY HAND AND SEAL OF THE COUNTY CLERK AT GENEVA,
ILLINOIS, THIS ____ DAY OF _____, A.D., 20____

VILLAGE COLLECTOR'S CERTIFICATE

STATE OF ILLINOIS)
SS
COUNTY OF KANE)

I, _____, VILLAGE COLLECTOR OF THE
VILLAGE OF HAMPSHIRE, DO HEREBY CERTIFY THAT THERE ARE NO
DELINQUENT OR UNPAID CURRENT OR FORFEITED SPECIAL ASSESSMENTS
OR ANY DEFERRED INSTALLMENTS THEREOF THAT HAVE BEEN
APPORTIONED AGAINST THE TRACT OF LAND INCLUDED IN THIS PLAT.

DATED AT HAMPSHIRE, KANE COUNTY, ILLINOIS.

THIS ____ DAY OF _____, 20____

VILLAGE COLLECTOR

COUNTY ENGINEER CERTIFICATE

STATE OF ILLINOIS)
SS.
COUNTY OF KANE)

ACCEPTED AND APPROVED THIS ____ DAY OF _____, A.D., 20____

KANE COUNTY ENGINEER

SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS)
SS.
COUNTY OF DUPAGE)

THIS IS TO CERTIFY THAT I, JEFFREY R. PANKOW, ILLINOIS PROFESSIONAL LAND SURVEYOR
NO. 3483, AT THE REQUEST OF THE OWNER(S) THEREOF, HAVE SURVEYED, SUBDIVIDED AND
PLATTED THE FOLLOWING DESCRIBED PROPERTY:

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 18 AND THE NORTHWEST QUARTER
OF SECTION 19, BOTH IN TOWNSHIP 42 NORTH, RANGE 7 EAST OF THE THIRD PRINCIPAL
MERIDIAN, DESCRIBED AS FOLLOWS:
COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 18; THENCE SOUTH 89
DEGREES 58 MINUTES 54 SECONDS EAST, 1112.55 FEET ALONG THE SOUTH LINE OF SAID
SOUTHWEST QUARTER TO THE POINT OF BEGINNING; THENCE NORTH 42 DEGREES 14
MINUTES 45 SECONDS WEST, 65.17 FEET; THENCE SOUTH 89 DEGREES 47 MINUTES 00
SECONDS WEST, 160.75 FEET; THENCE NORTH 00 DEGREES 03 MINUTES 36 SECONDS EAST,
1270.87 FEET; THENCE SOUTH 89 DEGREES 56 MINUTES 24 SECONDS EAST, 451.24 FEET
TO THE WEST LINE OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SAID SECTION 18;
THENCE NORTH 00 DEGREES 02 MINUTES 17 SECONDS WEST, 660.76 FEET ALONG SAID
WEST LINE; THENCE NORTH 50 DEGREES 28 MINUTES 38 SECONDS EAST, 180.83 FEET TO
THE CENTERLINE OF BIG TIMBER ROAD; THE FOLLOWING TWO COURSES ARE ALONG SAID
CENTERLINE; 1) THENCE SOUTHEASTERLY, 77.00 FEET ALONG A CURVE TO THE LEFT,
HAVING A RADIUS OF 5208.79 FEET AND A CHORD BEARING SOUTH 50 DEGREES 04
MINUTES 40 SECONDS EAST; 2) THENCE SOUTH 50 DEGREES 30 MINUTES 05 SECONDS
EAST, 591.93 FEET TO THE WEST LINE OF A PROPERTY DESCRIBED IN A TRUSTEE'S DEED
RECORDED AS DOCUMENT 90K35649; THENCE SOUTH 00 DEGREES 20 MINUTES 21 SECONDS
WEST, 703.44 FEET ALONG SAID WEST LINE; THENCE NORTH 29 DEGREES 02 MINUTES 07
SECONDS WEST, 221.94 FEET; THENCE NORTH 55 DEGREES 14 MINUTES 04 SECONDS WEST,
144.51 FEET; THENCE SOUTH 79 DEGREES 45 MINUTES 56 SECONDS WEST, 14.14 FEET;
THENCE SOUTH 34 DEGREES 45 MINUTES 56 SECONDS WEST, 102.59 FEET; THENCE
NORTHWESTERLY 15.63 FEET ALONG A CURVE TO THE LEFT, HAVING A RADIUS OF 230.00
FEET AND A CHORD BEARING NORTH 76 DEGREES 59 MINUTES 40 SECONDS WEST; THENCE
NORTH 78 DEGREES 56 MINUTES 30 SECONDS WEST, 20.22 FEET; THENCE SOUTHERLY
156.86 FEET ALONG A CURVE TO THE LEFT, HAVING A RADIUS OF 684.00 FEET AND A
CHORD BEARING SOUTH 06 DEGREES 54 MINUTES 32 SECONDS WEST; THENCE SOUTH 00
DEGREES 20 MINUTES 21 SECONDS WEST, 564.55 FEET; THENCE SOUTHWESTERLY, 647.97
FEET ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 783.00 FEET AND A CHORD
BEARING SOUTH 24 DEGREES 02 MINUTES 48 SECONDS WEST; THENCE SOUTH 47 DEGREES
45 MINUTES 15 SECONDS WEST, 122.10 FEET; THENCE NORTH 42 DEGREES 14 MINUTES 45
SECONDS WEST, 291.00 FEET TO THE POINT OF BEGINNING, IN KANE COUNTY, ILLINOIS.

I FURTHER CERTIFY THAT THE PLAT HEREON DRAWN IS A CORRECT AND ACCURATE
REPRESENTATION OF SAID SURVEY AND SUBDIVISION. ALL DISTANCES ARE SHOWN IN FEET
AND DECIMAL PARTS THEREOF IF FURTHER CERTIFY THE ABOVE DESCRIBED PROPERTY IS
LOCATED WITHIN ZONE X AND A ZONE A AS IDENTIFIED BY THE FEDERAL EMERGENCY
MANAGEMENT AGENCY BASED ON F.I.R.M. MAP PANEL 17089C0130J, DATED JUNE 2, 2015,

I FURTHER CERTIFY THAT I HAVE SET ALL SUBDIVISION MONUMENTS AND DESCRIBED THEM
ON THIS FINAL PLAT AS REQUIRED BY THE PLAT ACT (ILLINOIS REVISED STATUTES 1977,
CHAPTER 109 SECTION 1).

I FURTHER CERTIFY THAT THE PROPERTY SHOWN ON THE PLAT HEREON DRAWN IS SITUATED
WITHIN THE CORPORATE LIMITS OF THE VILLAGE OF HAMPSHIRE, ILLINOIS, WHICH IS
EXERCISING THE SPECIAL POWERS AUTHORIZED BY DIVISION 12 OF ARTICLE 11 OF THE
ILLINOIS MUNICIPAL CODE AS AMENDED.

GIVEN UNDER MY HAND AND SEAL AT AURORA, ILLINOIS,

THIS ____TH DAY OF _____, 20____.

ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3483
MY REGISTRATION EXPIRES ON NOVEMBER 30, 2026
PROFESSIONAL DESIGN FIRM LICENSE NO. 184-002937
EXPIRATION DATE IS APRIL 30, 2027

GENERAL PROVISIONS COMMON TO ALL EASEMENTS:

NO FENCE, SHED OR ANY STRUCTURE SHALL BE ERECTED WITHIN AN
EASEMENT THAT WILL OBSTRUCT OR PROHIBIT THE OVERLAND FLOW OF
STORMWATER, OR OBSTRUCT, IMPEDE, OR PRECLUDE READY ACCESS TO
ANY UTILITY FACILITY OR APPURTENANCE, SUCH AS AN EQUIPMENT
BOX, A CATCH BASIN, OR ANY OTHER SUCH FACILITY OR
APPURTENANCE.

THE VILLAGE OF HAMPSHIRE AND ITS REPRESENTATIVES SHALL, AT
THEIR SOLE DISCRETION, REQUIRE ANY FENCE, STRUCTURE OR OTHER
OBSTRUCTION THAT IS ERECTED WITHIN A PUBLIC UTILITY EASEMENT,
VILLAGE UTILITY EASEMENT, UTILITY EASEMENT, DRAINAGE EASEMENT OR
EASEMENT FOR STORMWATER DETENTION BASIN, BE REMOVED AT NO
COST TO THE VILLAGE. THE COST OF REMOVAL AND REPLACEMENT OF
ANY OBSTRUCTION SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER.

PUBLIC UTILITY EASEMENT PROVISIONS
(ELECTRIC AND COMMUNICATION)

COMMONWEALTH EDISON COMPANY, AMERITECH, MEDIACOM, AND OTHER
UTILITY COMPANIES PROVIDING ELECTRIC AND COMMUNICATIONS
SERVICES, THEIR RESPECTIVE SUCCESSORS AND ASSIGNS, JOINTLY OR
SEVERALLY ARE HEREBY GIVEN EASEMENT RIGHTS TO ALL PLATTED
EASEMENTS DESIGNATED "PUBLIC UTILITY EASEMENTS" AND JOINTLY WITH
VILLAGE UTILITIES TO ALL PLATTED EASEMENTS DESIGNATED "UTILITY
EASEMENTS" TOGETHER WITH THE RIGHT OF ACCESS THERETO AND TO
ALL PLATTED STREETS AND ALLEYS TO INSTALL, OPERATE, MAINTAIN
AND REMOVE, FROM TIME TO TIME, FACILITIES USED IN CONNECTION
WITH THE TRANSMISSION AND DISTRIBUTION OF ELECTRICITY AND
SOUNDS AND SIGNALS, TOGETHER WITH THE RIGHT TO INSTALL
REQUIRED SERVICE CONNECTIONS TO SERVE THE IMPROVEMENTS OF
EACH LOT, THE RIGHT TO CUT DOWN AND REMOVE OR TRIM AND KEEP
TRIMMED ANY TREES, SHRUBS OR SAPLINGS THAT INTERFERE OR
THREATEN TO INTERFERE WITH ANY OF SAID PUBLIC UTILITY EQUIPMENT.
THE LOCATION OF FACILITIES IN PLATTED STREETS AND ALLEYS SHALL
NOT CONFLICT WITH PUBLIC IMPROVEMENTS AND SHALL BE SUBJECT TO
VILLAGE APPROVAL. NO PERMANENT BUILDINGS OR TREES SHALL BE
PLACED ON SAID EASEMENT, BUT SAME MAY BE USED FOR GARDENS,
SHRUBS, LANDSCAPING AND OTHER PURPOSES THAT DO NOT THEN OR
LATER INTERFERE WITH THE AFORESAID USES OR THE RIGHTS HEREIN
GRANTED. ALL UTILITY LINES SHALL BE CONSTRUCTED UNDERGROUND.
NO OVERHEAD LINES WILL BE PERMITTED.

PUBLIC UTILITY EASEMENT PROVISIONS
(NICOR)

NICOR, ITS SUCCESSOR AND ASSIGNS, IS HEREBY GIVEN EASEMENT
RIGHTS TO ALL PLATTED STREETS AND ALLEYS. SAID EASEMENT TO BE
FOR THE INSTALLATION, RELOCATION, RENEWAL AND REMOVAL OF GAS
MAINS AND APPURTENANCES. LOCATION OF MAINS AND APPURTENANCES
SHALL NOT CONFLICT WITH PUBLIC IMPROVEMENTS AND SHALL BE
SUBJECT TO VILLAGE APPROVAL.

DRAINAGE EASEMENT PROVISIONS

THE VILLAGE OF HAMPSHIRE IS HEREBY GIVEN EASEMENT RIGHTS TO
ALL PLATTED EASEMENTS DESIGNATED "DRAINAGE EASEMENT" OR "DE"
TO INSTALL, OPERATE AND MAINTAIN UNDERGROUND AND SURFACE
DRAINAGE FACILITIES AND WATERCOURSES. SAID EASEMENTS SHALL BE
USED FOR NO OTHER PURPOSE EXCEPT AS EXPRESSLY AUTHORIZED BY
THE VILLAGE. NO PERMANENT BUILDINGS SHALL BE PLACED ON SAID
EASEMENT, BUT SAME MAY BE USED FOR GARDENS, SHRUBS,
LANDSCAPING AND OTHER PURPOSES THAT DO NOT THEN OR LATER
INTERFERE WITH THE AFORESAID USES OR THE RIGHTS HEREIN
GRANTED.

VILLAGE UTILITY EASEMENT PROVISIONS

THE VILLAGE OF HAMPSHIRE IS HEREBY GIVEN EASEMENT RIGHTS TO
ALL PLATTED EASEMENTS DESIGNATED "VILLAGE UTILITY EASEMENT",
TOGETHER WITH THE RIGHT OF ACCESS THERETO. SAID EASEMENTS
SHALL BE USED SOLELY TO INSTALL, OPERATE, MAINTAIN AND REMOVE
FROM TIME TO TIME, ABOVE GROUND AND UNDERGROUND FACILITIES
AND APPURTENANCES USED IN CONNECTION WITH THE WATER SYSTEM,
SANITARY SEWER SYSTEM AND STORM DRAINAGE SYSTEM OF THE
VILLAGE OF HAMPSHIRE. THESE EASEMENTS MAY BE GRADED AS
SWALES TO RECEIVE LOCAL SURFACE DRAINAGE. NO PERMANENT
BUILDING SHALL BE PLACED ON SAID EASEMENT, BUT THE SAME MAY
BE USED FOR GARDENS, SHRUBS, LANDSCAPING AND OTHER PURPOSES
THAT DO NOT THEN OR LATER INTERFERE WITH THE AFORESAID USES
OR RIGHTS HEREIN GRANTED. TREES SHALL ONLY BE ALLOWED TO BE
PLACED IN SUCH LOCATIONS IN THE EASEMENT AS ARE APPROVED BY
THE VILLAGE STAFF TO AVOID ACTUAL CONFLICTS WITH UTILITIES.

THE VILLAGE OF HAMPSHIRE AND ITS REPRESENTATIVES SHALL, AT
THEIR SOLE DISCRETION, REQUIRE ANY FENCE, STRUCTURE OR OTHER
OBSTRUCTION THAT IS ERECTED WITHIN A VILLAGE UTILITY EASEMENT,
BE REMOVED AT NO COST TO THE VILLAGE. THE COST OF REMOVAL
AND REPLACEMENT OF ANY OBSTRUCTION AND ANY OTHER VILLAGE
EXPENSES ASSOCIATED THEREWITH SHALL BE THE SOLE RESPONSIBILITY
OF THE OWNER OF THE PROPERTY UPON WHICH THE EASEMENT
OBSTRUCTION IS LOCATED.

THE VILLAGE SHALL HAVE NO OBLIGATION WITH RESPECT TO SURFACE
RESTORATION, INCLUDING BUT NOT LIMITED TO, THE LAWN OR
SHRUBBERY; PROVIDED, HOWEVER, THAT THE VILLAGE SHALL BE
OBLIGATED FOLLOWING MAINTENANCE WORK TO 1) STABILIZE ALL
SURFACES (IN ANY MANNER SUITABLE TO THE VILLAGE) SO AS TO
RETAIN SUITABLE DRAINAGE, 2) TO REMOVE ALL EXCESS DEBRIS AND
SPOIL AND 3) TO LEAVE THE MAINTENANCE AREA IN A GENERALLY
CLEAN AND WORKMANLIKE CONDITION.

STORMWATER MANAGEMENT EASEMENT PROVISIONS

AN EASEMENT IS HEREBY RESERVED FOR AND GRANTED TO THE
VILLAGE OF HAMPSHIRE AND TO ITS SUCCESSORS AND ASSIGNS, OVER
ALL OF THE AREAS MARKED "STORMWATER MANAGEMENT EASEMENT"
(abbreviated S.M.E.) ON THE PLAT FOR THE PERPETUAL RIGHT,
PRIVILEGE, AND AUTHORITY TO SURVEY, CONSTRUCT, RECONSTRUCT,
REPAIR, INSPECT, MAINTAIN AND OPERATE STORM SEWERS AND THE
STORMWATER MANAGEMENT AREA, TOGETHER WITH ANY AND ALL
NECESSARY MANHOLES, CATCH BASINS, SANITARY SEWERS, WATER
MAINS, ELECTRIC AND COMMUNICATION CABLES, CONNECTIONS, DITCHES,
SWALES, AND OTHER STRUCTURES AND APPURTENANCES AS MAY BE
DEEMED NECESSARY BY SAID VILLAGE, OVER, UPON, ALONG, UNDER
AND THROUGH SAID INDICATED EASEMENT, TOGETHER WITH THE RIGHT
OF ACCESS ACROSS THE PROPERTY FOR NECESSARY MEN AND
EQUIPMENT TO DO ANY OF THE ABOVE WORK. THE RIGHT IS ALSO
GRANTED TO CUT DOWN, TRIM OR REMOVE ANY TREES, SHRUBS OR
OTHER PLANTS ON THE EASEMENT THAT INTERFERE WITH THE
OPERATION OF SEWERS OR OTHER UTILITIES. NO PERMANENT BUILDINGS
SHALL BE PLACED ON SAID EASEMENT. NO CHANGE TO THE
TOPOGRAPHY OR STORMWATER MANAGEMENT STRUCTURES WITHIN THE
EASEMENT AREA SHALL BE MADE WITHOUT EXPRESS WRITTEN CONSENT
OF THE VILLAGE ENGINEER, BUT SAME MAY BE USED FOR PURPOSES
THAT DO NOT THEN OR LATER INTERFERE WITH THE AFORESAID USES
OR RIGHTS.

THE OWNER OF THE PROPERTY SHALL REMAIN RESPONSIBLE FOR THE
MAINTENANCE OF THE STORMWATER MANAGEMENT AREA AND
APPURTENANCES. THE VILLAGE OF HAMPSHIRE WILL PERFORM ONLY
EMERGENCY PROCEDURES AS DEEMED NECESSARY BY THE VILLAGE
ENGINEER OF THE VILLAGE OF HAMPSHIRE.



PREPARED BY:
CEMCON, Ltd.

Consulting Engineers, Land Surveyors & Planners
2280 White Oak Circle, Suite 100 Aurora, Illinois
60502-9875 PH: 630.862.2100 FAX: 630.862.2199
E-Mail: info@cemcon.com Website: www.cemcon.com

DISC NO.: 456279 FILE NAME: SUBPLAT-S
DRAWN BY: AJB FLD. BK. / PG. NO.: N/A
COMPLETION DATE: 03-11-26 JOB NO.: 456.279
PROJECT REFERENCE: 456.209 & 456.267
CHECKED BY: JRP 03-02-26
REVISED 06-25-26\AJB PER COMMENTS DATED 06-15-26
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ENGINEERING ENTERPRISES, INC.

52 Wheeler Road, Sugar Grove, IL 60554
Ph: 630.466.6700 • Fx: 630.466.6701
www.eeiweb.com

July 21, 2026

Michael May, P.E. (via email)
CEMCON, Ltd.
2280 White Oak Circle, Suite 100
Aurora, IL 60502-9675

Re: *Oakstead Neighborhoods H, I, & J*
Final Engineering Review – 2nd Submittal
Village of Hampshire

Mr. May:

We are in receipt of the following items for the above-mentioned project:

- Final Plat of Subdivision – Neighborhood H (3 sheets) dated June 24, 2026, prepared by CEMCON
- Final Plat of Subdivision – Neighborhood I (3 sheets) dated June 24, 2026, prepared by CEMCON
- Final Plat of Subdivision – Neighborhood J (4 sheets) dated June 24, 2026, prepared by CEMCON

Our review of these plans is to generally determine their compliance with local ordinances and whether the improvements will conform to existing local systems and equipment. This review and our comments do not relieve the designer from his duties to conform to all required codes, regulations, and acceptable standards of engineering and land surveying practice. Engineering Enterprises, Inc.'s review is not intended as an in-depth quality assurance review, we cannot and do not assume responsibility for design errors or omissions in the plans. As such, we offer the following comments:

Plat of Subdivision Comments

1. Revise the owner's name in the notary certificate.
2. Add the missing document numbers to the surveyor's certificate.
3. Add the road names.
4. Add the document number for Oakstead Drive.

Neighborhood H

5. Revise the easement on Outlot 2 to read Village Utility Easement.

Neighborhood I

6. A larger VUE is needed on the north side of Lot 270.
7. Dimension the existing Badger pipeline easement to the corners of Outlots 1 and 2.

Neighborhood J

8. Add the Planning and Zoning Commission Certificate.
9. Revise the Blanket SME label for Outlot 1 on sheet 3.

The engineer should revise the plats and resubmit them for further review. If you have any questions or require additional information, please call our office.

Respectfully submitted,

ENGINEERING ENTERPRISES, INC.



Timothy N. Paulson, P.E., CFM
Senior Project Manager

TNP/CEP

pc: Mary Jo Seehausen, Village Manager (Via email)
Karen Stuehler, Village Clerk (Via email)
Mo Kahn, Assistant Village Manager (Via email)
Jason Hinkle, Crown Community Development (Via email)



ENGINEERING ENTERPRISES, INC.

52 Wheeler Road, Sugar Grove, IL 60554
Ph: 630.466.6700 • Fx: 630.466.6701
www.eeiweb.com

July 21, 2026

Michael May, P.E. (via email)
CEMCON, Ltd.
2280 White Oak Circle, Suite 100
Aurora, IL 60502-9675

Re: *Oakstead Neighborhoods K, R, & S*
Final Engineering Review – 2nd Submittal, Plats Only
Village of Hampshire

Mr. May:

We are in receipt of the following items for the above-mentioned project:

- Final Plat of Subdivision – Neighborhood K (6 sheets) dated June 24, 2026, prepared by CEMCON
- Final Plat of Subdivision – Neighborhood R (5 sheets) dated June 24, 2026, prepared by CEMCON
- Final Plat of Subdivision – Neighborhood S (4 sheets) dated June 25, 2026, prepared by CEMCON

Our review of these plans is to generally determine their compliance with local ordinances and whether the improvements will conform to existing local systems and equipment. This review and our comments do not relieve the designer from his duties to conform to all required codes, regulations, and acceptable standards of engineering and land surveying practice. Engineering Enterprises, Inc.'s review is not intended as an in-depth quality assurance review, we cannot and do not assume responsibility for design errors or omissions in the plans. As such, we offer the following comments:

Plat of Subdivision Comments

General

1. Add the road names to all roads on all sheets.
2. Neighborhood S will need to be recorded before K and R for dedicated access.
3. Add the document number to the plats for the roadway dedication.
4. The revised plats containing the road names and dedications are to be resubmitted for final review.
5. Add the Owner's name and address to all the plats.

Neighborhood K

6. The owner's name in the owner's certificate and notary certificate do not match.
7. Add the missing document number to the surveyor's certificate.
8. Add the Planning and Zoning Commission Certificate.

Neighborhood R

9. Revise the sheet numbers
10. The owner's name in the owner's certificate and notary certificate do not match.
11. Add the Planning and Zoning Commission Certificate.
12. Revise the easement labels on Outlot 3.
13. Revise the curve table heading for chord length.

Neighborhood S

14. Revise the easement labels on all outlots to read Village Utility Easement.
15. The owner's name in the owner's certificate and notary certificate do not match.
16. Add the Planning and Zoning Commission Certificate.
17. Add the Village Board Certificate
18. The basin overflow on the south side of Outlot 3 is outside the SME. Revise as necessary.

The engineer should revise the plats and resubmit them for further review. If you have any questions or require additional information, please call our office.

Respectfully submitted,

ENGINEERING ENTERPRISES, INC.



Timothy N. Paulson, P.E., CFM
Senior Project Manager

TNP/CEP

pc: Mary Jo Seehausen, Village Manager (Via email)
Karen Stuehler, Village Clerk (Via email)
Mo Kahn, Assistant Village Manager (Via email)
Jason Hinkle, Crown Community Development (Via email)



Village of Hampshire
234 S. State Street, Hampshire IL 60140
Phone: 847-683-2181 | www.hampshireil.org

AGENDA SUPPLEMENT

TO: Planning & Zoning Commission
FROM: Mo Khan, Assistant Village Manager for Development
FOR: Planning & Zoning Commission Meeting on July 27, 2026
RE: PZC-26-10 - Prairie Ridge North Outlot 11 & 1221 Fox Hedge Trail - Plat of Resubdivision

PROPOSAL: Hampshire West, LLC dba Crown Community Development and Anthony & Emily Canelakes (Petitioners & Owners) are requesting the approval of the following:

1. Final Plat of Resubdivision of Prairie Ridge North Outlot 11 and 1221 Fox Hedge Trail





Village of Hampshire
234 S. State Street, Hampshire IL 60140
Phone: 847-683-2181 | www.hampshireil.org

BACKGROUND: The property owners of 1221 Fox Hedge Trail contacted Crown regarding purchasing a portion of Outlot 11 to expand their lot size/area. Crown agreed to sell a portion of Outlot 11 that is not located within the 66 ft. wide gas easement pending approval of the Plat of Resubdivision by the Village.

ANALYSIS: The Village engineer reviewed the proposed Plat of Resubdivision and found it to be in general conformance with Village code requirements.

REQUIRED FINDINGS OF FACT: There are no required findings of fact for a plat of resubdivision.

PUBLIC COMMENTS: Village staff has not received any public comments regarding this petition as of July 23, 2026.

STAFF RECOMMENDED CONDITIONS OF APPROVAL: Village staff is not recommending any conditions of approval.

RECOMMENDED MOTIONS:

1. I move to recommend approval of PZC-26-10 for a Final Plat of Resubdivision of Prairie Ridge North Outlot 11 and 1221 Fox Hedge Trail.

DOCUMENTS ATTACHED:

1. Land Use Application
2. Plat of Resubdivision – Prairie Ridge North Outlot 11 and 1221 Fox Hedge Trail



Village of Hampshire
234 S. State Street, Hampshire, IL 60140
Phone: 847-683-2181 ▪ www.hampshireil.org

Land Use Application

Date: 7/6/26

The Undersigned respectfully petitions the Village of Hampshire to review and consider granting the following approval(s) on the land herein described.
(check all that apply)

- ☐ Variance*
- ☐ Special Use Permit*
- ☐ Rezoning from _____ District to _____ District (ex. M1 to M2)*
- ☒ Annexation*
- ☒ Subdivision
- ☐ Other Site Plan: _____

*requires a 15-30 day public notice period

APPLICANT INFORMATION

APPLICANT (print or type)

Name: Hampshire West LLC Email: _____

Address: 2056 WESTINS AVE | SUITE 280 | NAPERVILLE | IL Phone: 630.851.5490

CONTACT PERSON (if different from applicant)

Name: Katrina Spiller Email: kspiller@crown-chicago.com

Address: 2056 WESTINS AVE | SUITE 280 | NAPERVILLE | IL Phone: 630.566.2512

IS THE APPLICANT THE OWNER OF THE SUBJECT PROPERTY?

☒ YES ☐ NO

If the applicant is not the owner of the subject property, a written and signed statement from the owner authorizing the applicant to file must be attached to this application.

IS THE OWNER A TRUSTEE/BENEFICIARY OF A LAND TRUST?

☒ YES ☐ NO

If the owner of the subject property is a trustee of a land trust or beneficiaries of a land trust, a disclosure statement identifying each beneficiary of such land trust by name and address, and defining his/her interest therein, shall be attached hereto.

PROPERTY INFORMATION

Name of Development (if any): PRAIRIE RIDGE OF HAMPSHIRE NORTH

Address: OUTLOT 11 - CORNERSTONE NEIGH Z

Parcel Number(s): 01-15-178-016

Total Area (acres): 0.359 ACRES

Legal Description: must be attached to this application

Fire Protection District: Hampshire FPD

School District: D300

Library District: ELLA JOHNSON

Park District: HAMPSHIRE TOWNSHIP PD

Township: HAMPSHIRE TOWNSHIP

Current Zoning District: PRD

Current Use:

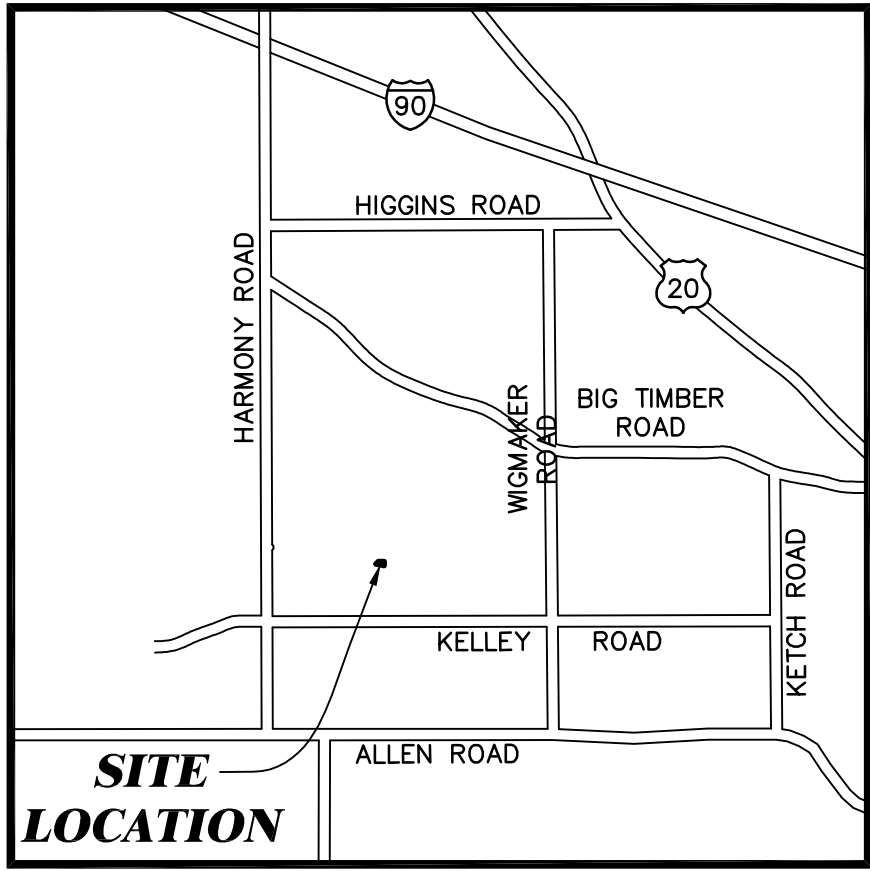
Residential

Proposed Zoning/Variance/Use:

Residential

Reason/Explanation for Zoning/Variance/Use:

OPEN SPACE SECTION WILL BE GIVEN TO THE ADJACENT HOMEOWNER TO BE MAINTAINED.



VICINITY MAP

OWNERSHIP CERTIFICATE

STATE OF ILLINOIS)
) SS
COUNTY OF DUPAGE)

THIS IS TO CERTIFY THATHAMPSHIRE WEST, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY, IS THE FEE SIMPLE OWNER OF THE PROPERTY DESCRIBED IN THE FOREGOING SURVEYOR'S CERTIFICATE AND THROUGH ITS DULY ELECTED OFFICERS, HAS CAUSED THE SAME TO BE SURVEYED, SUBDIVIDED, AND PLATTED AS SHOWN HEREON FOR THE USES AND PURPOSES HEREIN SET FORTH AS ALLOWED AND PROVIDED FOR BY STATUTE, AND HEREBY ACKNOWLEDGES AND ADOPTS THE SAME UNDER THE STYLE AND TITLE AFORESAID.

THE UNDERSIGNED, NOT INDIVIDUALLY, BUT AS THE DULY ELECTED OFFICERS OF SAID CORPORATION, HEREBY DEDICATES FOR PUBLIC USE THE LANDS SHOWN ON THIS PLAT FOR THOROUGHFARES, STREETS, ALLEYS AND PUBLIC SERVICES; AND HEREBY ALSO RESERVES FOR THE VILLAGE OF HAMPSHIRE, AMERITECH, COM ED, NICOR, MEDIACOM AND THEIR RESPECTIVE SUCCESSORS AND ASSIGNS, THE EASEMENT PROVISIONS WHICH ARE STATED AND SHOWN HEREON.

THE UNDERSIGNED, NOT INDIVIDUALLY, BUT AS DULY ELECTED OFFICERS OF SAID CORPORATION, FURTHER CERTIFY THAT ALL OF THE LAND INCLUDED IN THIS PLAT LIES WITHIN THE BOUNDARIES OF COMMUNITY UNIT SCHOOL DISTRICT 300.

DATED AT NAPERVILLE, IL DUPAGE COUNTY, ILLINOIS

THIS ____ DAY OF _____, 20____.

BY: _____ SECRETARY

_____ TITLE

NOTARY CERTIFICATE

STATE OF ILLINOIS)
) SS
COUNTY OF DUPAGE)

I, _____, A NOTARY PUBLIC IN AND FOR THE COUNTY AND STATE AFORESAID, DO HEREBY CERTIFY THAT PERSONALLY KNOWN TO ME TO BE OFFICERS OF HAMPSHIRE WEST, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY, APPEARED BEFORE ME THIS DAY AND ACKNOWLEDGED THAT THEY SIGNED AND DELIVERED THE SAID INSTRUMENT AS THEIR FREE AND VOLUNTARY ACT AND THE FREE AND VOLUNTARY ACT OF SAID CORPORATION, FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARIAL SEAL

THIS ____ DAY OF _____, 20____.

_____ NOTARY PUBLIC

SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS)
) SS
COUNTY OF DUPAGE)

THIS IS TO CERTIFY THAT I, JEFFREY R. PANKOW, ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3483, AT THE REQUEST OF THE OWNER(S) THEREOF, HAVE SURVEYED, SUBDIVIDED AND PLATTED THE FOLLOWING DESCRIBED PROPERTY:

OUTLOT 11 IN PRAIRIE RIDGE NEIGHBORHOOD Z, BEING A PART OF THE NORTHWEST QUARTER OF SECTION 15 IN TOWNSHIP 42 NORTH, RANGE 6 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 4, 2023 AS DOCUMENT 2023K034702, IN KANE COUNTY, ILLINOIS.

I FURTHER CERTIFY THAT THE PLAT HEREON DRAWN IS A CORRECT AND ACCURATE REPRESENTATION OF SAID SURVEY AND SUBDIVISION. ALL DISTANCES ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF IF FURTHER CERTIFY THAT (NO) PART OF THE ABOVE DESCRIBED PROPERTY IS LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA AS IDENTIFIED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY BASED ON F.I.R.M. MAP PANEL 17089C0107J, DATED JUNE 2, 2015,

I FURTHER CERTIFY THAT I HAVE SET ALL SUBDIVISION MONUMENTS AND DESCRIBED THEM ON THIS FINAL PLAT AS REQUIRED BY THE PLAT ACT (ILLINOIS REVISED STATUTES 1977, CHAPTER 109 SECTION 1).

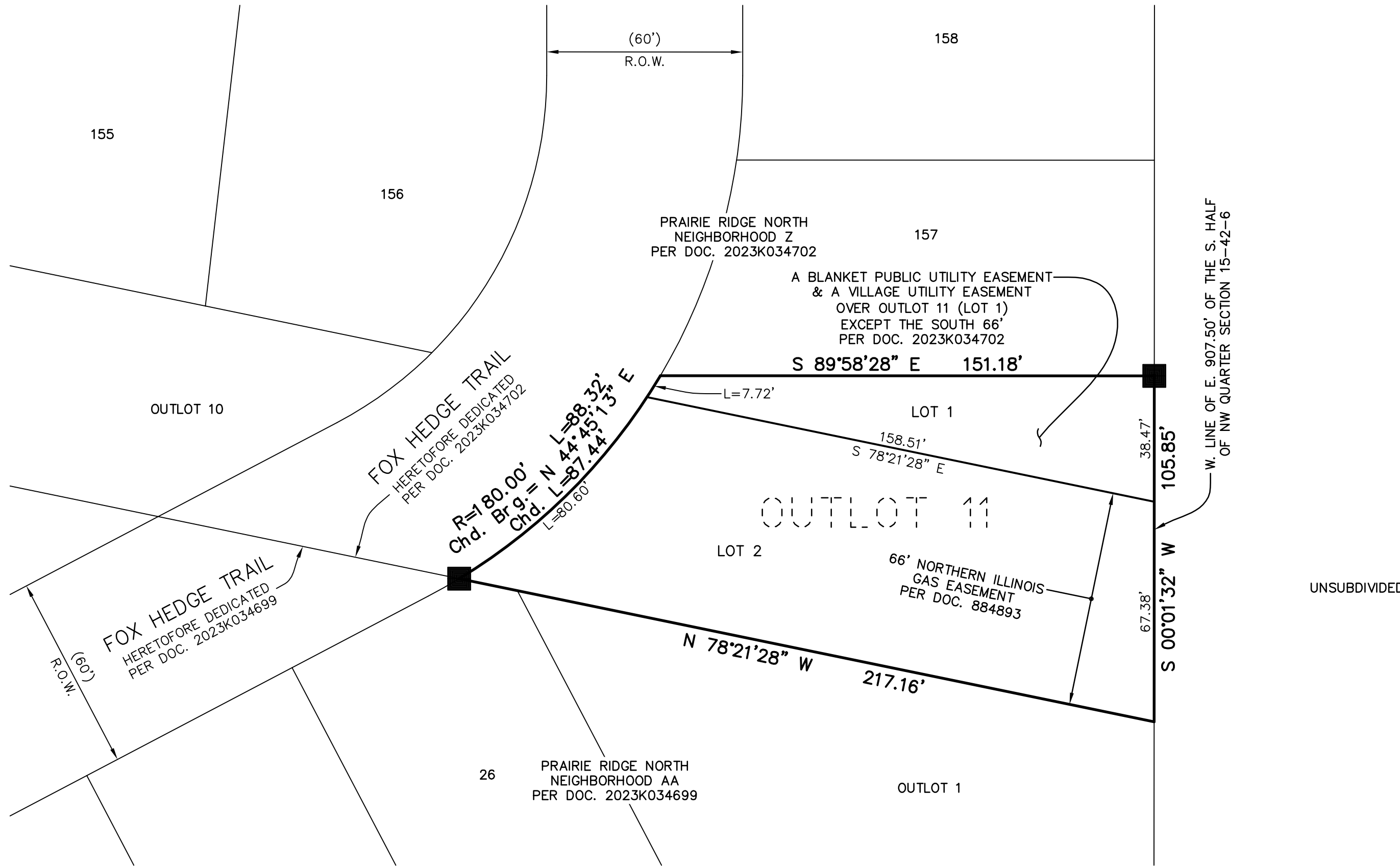
I FURTHER CERTIFY THAT THE PROPERTY SHOWN ON THE PLAT HEREON DRAWN IS SITUATED WITHIN THE CORPORATE LIMITS OF THE VILLAGE OF HAMPSHIRE, ILLINOIS, WHICH IS EXERCISING THE SPECIAL POWERS AUTHORIZED BY DIVISION 12 OF ARTICLE 11 OF THE ILLINOIS MUNICIPAL CODE AS AMENDED.

GIVEN UNDER MY HAND AND SEAL AT AURORA, ILLINOIS,

THIS ____ DAY OF _____, 20____.

ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3483
MY REGISTRATION EXPIRES ON NOVEMBER 30, 2026
PROFESSIONAL DESIGN FIRM LICENSE NO. 184-002937
EXPIRATION DATE IS APRIL 30, 2027

FINAL PLAT OF SUBDIVISION
OF
RESUBDIVISION OF OUTLOT 11
PRAIRIE RIDGE NORTH NEIGHBORHOOD Z
PART OF THE NORTHWEST QUARTER OF SECTION 15, TOWNSHIP 42 NORTH,
RANGE 6 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN KANE COUNTY, ILLINOIS.



SCHOOL DISTRICT STATEMENT

STATE OF ILLINOIS)
) SS
COUNTY OF DUPAGE)

THIS IS TO CERTIFY THAT HAMPSHIRE WEST, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY IS THE OWNER OF THE PROPERTY BEING SUBDIVIDED AFORESAID AND, TO THE BEST OF OWNER'S KNOWLEDGE AND BELIEF, SAID SUBDIVISION LIES ENTIRELY WITHIN THE LIMITS OF SCHOOL DISTRICT(S)

COMMUNITY UNIT SCHOOL DISTRICT 300

DATED THIS ____ DAY OF _____, A.D., 20____

BY: _____ ATTEST: _____

TITLE: _____ TITLE: _____

KANE COUNTY CLERK'S CERTIFICATE

STATE OF ILLINOIS)
) SS
COUNTY OF KANE)

I, _____, COUNTY CLERK OF KANE COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT TAXES, NO UNPAID FORFEITED TAXES, NO UNPAID CURRENT GENERAL TAXES AND NO REDEEMABLE TAX SALES AGAINST ANY OF THE LAND INCLUDED IN THE ANNEXED PLAT.

I FURTHER CERTIFY THAT I HAVE RECEIVED ALL STATUTORY FEES IN CONNECTION WITH THE ANNEXED PLAT.

GIVEN UNDER MY HAND AND SEAL OF THE COUNTY CLERK AT GENEVA, ILLINOIS, THIS ____ DAY OF _____, A.D., 20____

_____ COUNTY CLERK

PLAN COMMISSION CERTIFICATE

STATE OF ILLINOIS)
) SS
COUNTY OF KANE)

THIS IS TO CERTIFY THAT THE MEMBERS OF THE PLAN COMMISSION OF THE VILLAGE OF HAMPSHIRE HAVE REVIEWED AND APPROVED THE ABOVE PLAT.

DATED THIS ____ DAY OF _____, 20____.

_____ SECRETARY

VILLAGE BOARD CERTIFICATE

STATE OF ILLINOIS)
) SS
COUNTY OF KANE)

APPROVED BY THE PRESIDENT AND THE BOARD OF TRUSTEES OF THE VILLAGE OF HAMPSHIRE, ILLINOIS,

THIS ____ DAY OF _____, 20____.

VILLAGE PRESIDENT: _____

ATTEST: _____

VILLAGE COLLECTOR'S CERTIFICATE

STATE OF ILLINOIS)
) SS
COUNTY OF KANE)

I, _____, VILLAGE COLLECTOR OF THE VILLAGE OF HAMPSHIRE, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT OR UNPAID CURRENT OR FORFEITED SPECIAL ASSESSMENTS OR ANY DEFERRED INSTALLMENTS THEREOF THAT HAVE BEEN APPORTIONED AGAINST THE TRACT OF LAND INCLUDED IN THIS PLAT.

DATED AT HAMPSHIRE, KANE COUNTY, ILLINOIS.

THIS ____ DAY OF _____, 20____.

_____ VILLAGE COLLECTOR

VILLAGE ENGINEER'S CERTIFICATE

STATE OF ILLINOIS)
) SS
COUNTY OF KANE)

APPROVED BY THE VILLAGE ENGINEER OF THE VILLAGE OF HAMPSHIRE, ILLINOIS,

THIS ____ DAY OF _____, 20____.

_____ VILLAGE ENGINEER

THIS PLAT WAS SUBMITTED TO THE COUNTY RECORDER FOR THE PURPOSES OF RECORDING BY:

(PRINT NAME)

(ADDRESS)

(CITY/TOWN) (STATE) (ZIP CODE)

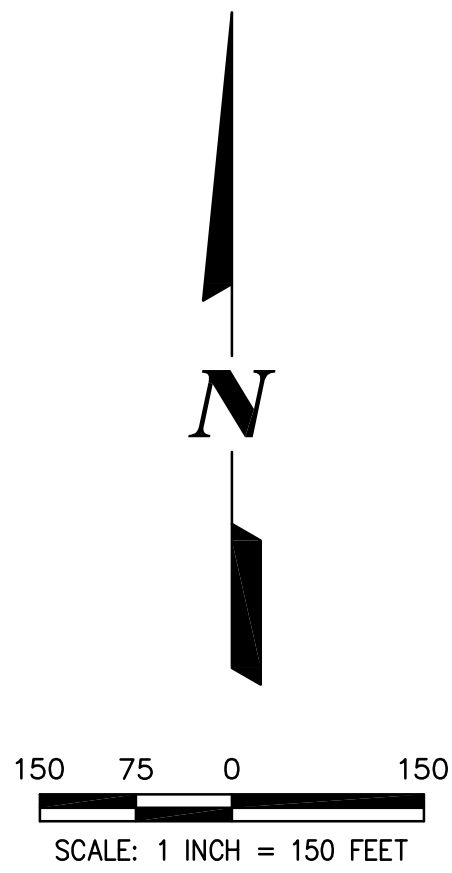
TOTAL AREA OF SUBDIVISION

0.359 ACRES

(MORE OR LESS)

PARCEL INDEX NUMBER

01-15-178-016
HAMPSHIRE, ILLINOIS



NOTES

3/4 INCH IRON PIPE SET AT ALL LOT CORNERS AND POINTS OF CURVATURE UNLESS OTHERWISE NOTED.

ALL MEASUREMENTS ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.

DIMENSIONS SHOWN ALONG CURVES ARE ARC DISTANCES.

DIMENSIONS ENCLOSED WITH () ARE RECORD DATA. ALL OTHER DIMENSIONS ARE MEASURED. ALL EASEMENTS ARE HEREBY GRANTED UNLESS OTHERWISE NOTED.

V.U.E. — INDICATES VILLAGE UTILITY EASEMENT HEREBY GRANTED. SEE PROVISIONS FOR DETAILS.

D.E. — INDICATES DRAINAGE EASEMENT HEREBY GRANTED. SEE PROVISIONS FOR DETAILS.

P.U.E. — INDICATES PUBLIC UTILITY EASEMENT HEREBY GRANTED. SEE PROVISIONS FOR DETAILS.

B.L. — BUILDING SETBACK LINE

THE BEARINGS SHOWN ARE BASED UPON THE EAST LINE OF THE SUBJECT SITE BEING S 00°01'32" W (ASSUMED).

GAP IN LOT NUMBERING DUE TO THE PREDEFINED LOT NUMBERING WITHIN THE ENTIRE PRAIRIE RIDGE DEVELOPMENT.

F.I.P. = FOUND IRON PIPE (ø AS SHOWN)
F.I.R. = FOUND IRON ROD (ø AS SHOWN)

ALL OUTLOTS TO BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION.

LEGEND

- SUBDIVISION BOUNDARY LINE (Heavy Solid Line)
- LOT LINE/PROPERTY LINE (Solid Line)
- ADJACENT LOT LINE/PROPERTY LINE (Light Solid Line)
- BUILDING LINE (Long Dashed Lines)
- EASEMENT LINE/LIMITS OF EASEMENT (Short Dashed Lines)
- - - - CENTERLINE (Single Dashed Lines)
- QUARTER SECTION LINE (Double Dashed Lines)
- SECTION LINE (Triple Dashed Lines)
- SET CONCRETE MONUMENT
- ⊕ SECTION CORNER OR QUARTER SECTION CORNER

LOT AREA SUMMARY TABLE			
LOT NUMBER	SQ. FT.	LOT NUMBER	SQ. FT.
1	3,481	2	12,157

PREPARED FOR:

HAMPSHIRE WEST, LLC,
AN ILLINOIS LIMITED LIABILITY COMPANY
2056 WESTINGS AVENUE, SUITE 280
NAPERVILLE, IL 60563
(630) 851-5490

PREPARED BY:



CEMCON, Ltd.

Consulting Engineers, Land Surveyors & Planners
2280 White Oak Circle, Suite 100 Aurora, Illinois
60502-9675 PH: 630.862.2100 FAX: 630.862.2199
www.cemcon.com

DISC NO.: 456275 FILE NAME: SUBPLAT-Z
DRAWN BY: AJB FLD. BK. / PG. NO.: N/A
COMPLETION DATE: 04-25-23 JOB NO.: 456.275
PROJECT REFERENCE: 456.216
CHECKED BY:
REVISIONS: 7-17-26/SMR PER REVIEW LETTER



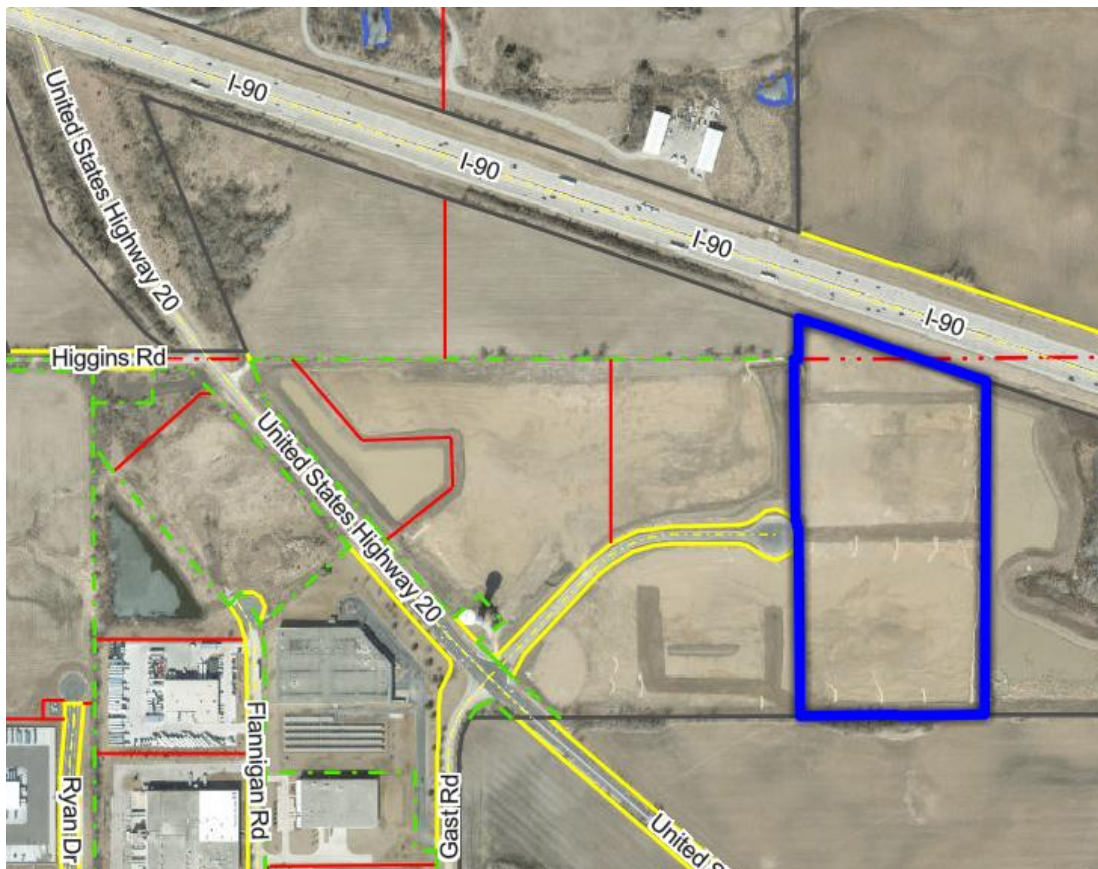
Village of Hampshire
234 S. State Street, Hampshire IL 60140
Phone: 847-683-2181 | www.hampshireil.org

AGENDA SUPPLEMENT

TO: Planning & Zoning Commission
FROM: Mo Khan, Assistant Village Manager for Development
FOR: Planning & Zoning Commission Meeting on July 27, 2026
RE: PZC-26-08 - 01-11-200-012 - Variances

PROPOSAL: David Huang (Petitioner & Owner) is requesting the approval of the following to install a real estate sign:

1. Request for Variance to Sec. 6-12-4-C-2 referenced by Sec. 6-12-3-L of the Hampshire Zoning Ordinance to permit a real estate sign size area of 128 sq. ft., whereas the maximum size area allowed is 60 sq. ft.
2. Request for Variance to Sec. 6-12-4-C-3 referenced by Sec. 6-12-3-L of the Hampshire Zoning Ordinance to permit a real estate sign height of 11 ft., whereas the maximum height allowed is 5.5 ft.





Village of Hampshire
234 S. State Street, Hampshire IL 60140
Phone: 847-683-2181 | www.hampshireil.org

BACKGROUND: The Hampshire 90 Logistics Park located off of Gast Road and US Highway 20 was constructed as a speculative industrial park. In order to better market the site for potential development, the Petitioner is requesting a larger real estate sign along the frontage of Interstate 90 than what is permitted by the Village's zoning ordinance.

ANALYSIS: The subject property for where the proposed real estate sign will be installed is approximately 22 acres and is currently unimproved.

The subject property is zoned M-2, General Industrial.

The following are the adjacent property zoning and uses:

North: Interstate 90

South: F, Farming (Unincorporated Kane County) - Unimproved/Farming

East: M-2, General Industrial - Unimproved

West: M-2, General Industrial - Detention/Retention Pond & Open Area

The following is a summary of the applicable zoning standards for real estate signs:

Code Section	Description	Requirement	Proposed
Sec. 6-12-3-L-6	Sign Setback	≥ 8 ft.	8 ft.
Sec. 6-12-4-C-2	Sign Area	≤ 60 sq. ft.	128 sq. ft.
Sec. 6-12-4-C-3	Sign Height	≤ 5.5 ft.	11 ft.

REQUIRED FINDINGS OF FACT: The following are the required findings of fact for a Variance per Sec. 6-14-3-F-11-a:

1. That the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations governing the district in which it is located, and that the variation, if granted, will not alter the essential character of the locality.
2. That the plight of the owner is due to unique circumstances and that the variation, if granted, will not alter the essential character of the locality

PROPOSED FINDINGS OF FACT: The proposed findings of fact shall be as follows:

1. The subject property cannot yield a reasonable return due to the right-of-way width that separates the Interstate 90 roadway from the subject property. The right-of-way width separating the roadway from the subject property is approximately 80 ft. This separation distance would make it harder to see a sign on the subject property.



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2. The plight of the owner is due to unique circumstance due to being adjacent to Interstate 90. Travel speeds are higher on interstate roadways which would require larger signs in order to be readable. Larger signs are common along interstate roadways and would not alter the essential character of the locality.

PUBLIC COMMENTS: Village staff has not received any public comments regarding this petition as of July 23, 2026.

STAFF RECOMMENDED CONDITIONS OF APPROVAL: Village staff is not recommending any conditions of approval.

RECOMMENDED MOTION:

I move to accept and adopt Staff's Findings of Fact included in the Agenda Supplement and recommend approval of Case# PZC-26-08 for the following:

1. Variance to Sec. 6-12-4-C-2 referenced by Sec. 6-12-3-L of the Hampshire Zoning Ordinance to permit a real estate sign size area of 128 sq. ft., whereas the maximum size area allowed is 60 sq. ft.
2. Variance to Sec. 6-12-4-C-3 referenced by Sec. 6-12-3-L of the Hampshire Zoning Ordinance to permit a real estate sign height of 11 ft., whereas the maximum height allowed is 5.5 ft.

DOCUMENTS ATTACHED:

1. Land Use Application
2. Plat of Survey
3. Sign Rendering
4. Petitioner's Findings of Fact



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Land Use Application

Date: _____

The Undersigned respectfully petitions the Village of Hampshire to review and consider granting the following approval(s) on the land herein described.
(check all that apply)

- ☒ Variance* (*Signage*)
- ☐ Special Use Permit*
- ☐ Rezoning from _____ District to _____ District (ex. M1 to M2)*
- ☐ Annexation*
- ☐ Subdivision
- ☐ Other Site Plan: _____

*requires a 15-30 day public notice period

APPLICANT INFORMATION

APPLICANT (print or type)

Name: David Huang Email: david@worldrhythm.com
Address: 2505 Bath Road, Elgin IL 60124 Phone: (847) 477-4561

CONTACT PERSON (if different from applicant)

Name: John Cassidy Email: jcassidy@lee-associates.com
Address: 9450 W. Bryn Mawr Ave, Suite 550, Rosemont, IL 60018 Phone: (312) 371-0098

IS THE APPLICANT THE OWNER OF THE SUBJECT PROPERTY?

☒ YES ☐ NO

If the applicant is not the owner of the subject property, a written and signed statement from the owner authorizing the applicant to file must be attached to this application.

IS THE OWNER A TRUSTEE/BENEFICIARY OF A LAND TRUST?

☐ YES ☒ NO

If the owner of the subject property is a trustee of a land trust or beneficiaries of a land trust, a disclosure statement identifying each beneficiary of such land trust by name and address, and defining his/her interest therein, shall be attached hereto.

PROPERTY INFORMATION

Name of Development (if any): Midwest Logistics Center

Address: Route 20 : East Road, Hampshire (Northeast Corner) 18N775 US Highway 20

Parcel Number(s): 01-11-100-007, 01-11-200-007, 01-11-100-014, 01-11-200-010

Total Area (acres): 84.4 Acres

Legal Description: must be attached to this application

Fire Protection District: Hampshire Fire Protection District

School District: District 300

Library District: Ella Johnson Memorial Public Library District

Park District: Hampshire Township Park District

Township: Hampshire Township

Current Zoning District: M2 - General Industrial

Current Use:

Industrial Development

Proposed Zoning/Variance/Use:

Signage Variance only

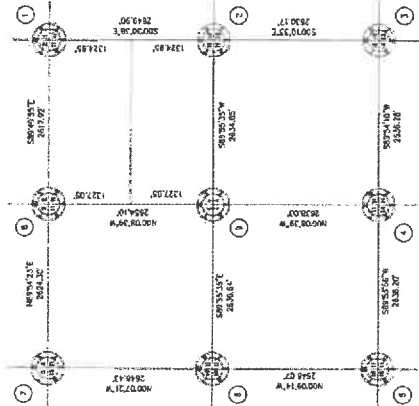
Reason/Explanation for Zoning/Variance/Use:

Requesting signage larger than permitted per ordinance

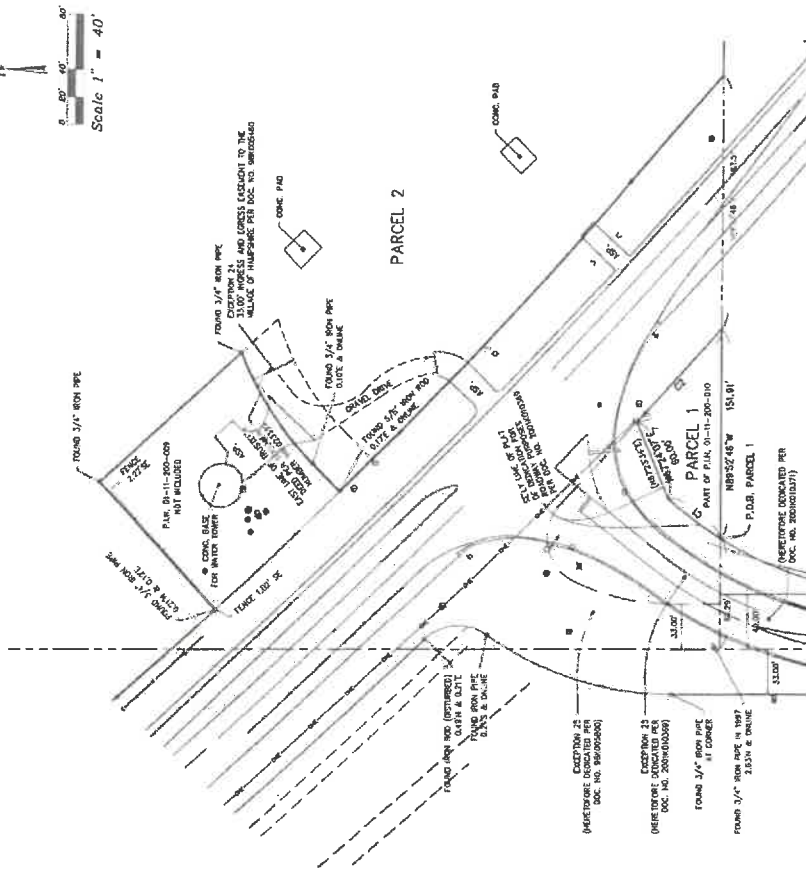
ALTA/NSPS LAND TITLE SURVEY

DETAIL OF PARCEL 1 AND SOUTHWEST CORNER OF PARCEL 2

SECTION DETAIL (NOT TO SCALE)



1. FOUND 1/4" IRON PIPE (NIP) AT THE NORTHWEST CORNER OF SECTION 11-42-8 PER MONUMENT RECORD 183434
2. FOUND 1/2" IRON PIPE (NIP) AT THE EAST 1/4 CORNER OF SECTION 11-42-8 PER MONUMENT RECORD 183434
3. FOUND 1/2" IRON PIPE (NIP) AT THE SOUTHWEST CORNER OF SECTION 11-42-8 PER MONUMENT RECORD 183434
4. FOUND 1/2" IRON PIPE (NIP) AT THE SOUTH 1/4 CORNER OF SECTION 11-42-8 PER MONUMENT RECORD 183434
5. FOUND 1/2" IRON PIPE (NIP) AT THE WEST 1/4 CORNER OF SECTION 11-42-8 PER MONUMENT RECORD 183434
6. FOUND 3/4" IRON PIPE (NIP) AT THE WEST 1/4 CORNER OF SECTION 11-42-8 PER MONUMENT RECORD 183434
7. FOUND 3/4" IRON PIPE (NIP) AT THE WEST 1/4 CORNER OF SECTION 11-42-8 PER MONUMENT RECORD 183434
8. FOUND 1/2" IRON PIPE (NIP) AT THE NORTHWEST CORNER OF SECTION 11-42-8 PER MONUMENT RECORD 183434
9. FOUND 1/2" IRON PIPE (NIP) AT THE NORTHWEST CORNER OF SECTION 11-42-8 PER MONUMENT RECORD 183434



CHUCK	BOONE	LYNN	CR	CD
CI	24.00'	21.00'	21.00'	21.00'
CI	24.00'	21.00'	21.00'	21.00'

CHUCK TABLE



JACOB & HEFNER
ASSOCIATES, INC.
11111 111TH STREET, SUITE 100
BAY AREA, TEXAS 77814
Phone: (409) 885-1111
Fax: (409) 885-1112

Survey No.	11-42-8
Drawn By:	ALTA/NSPS LAND TITLE SURVEY
Check By:	ALTA/NSPS LAND TITLE SURVEY
Date:	11-42-8
Scale:	1" = 40'

CUSTOMER:



JOB LOCATION:

Rte 20 & Gast Rd.,
Hampshire, IL 60140

PROJECT:

(1) 8x16' Single face - MDO

DATE:

04.09.2026

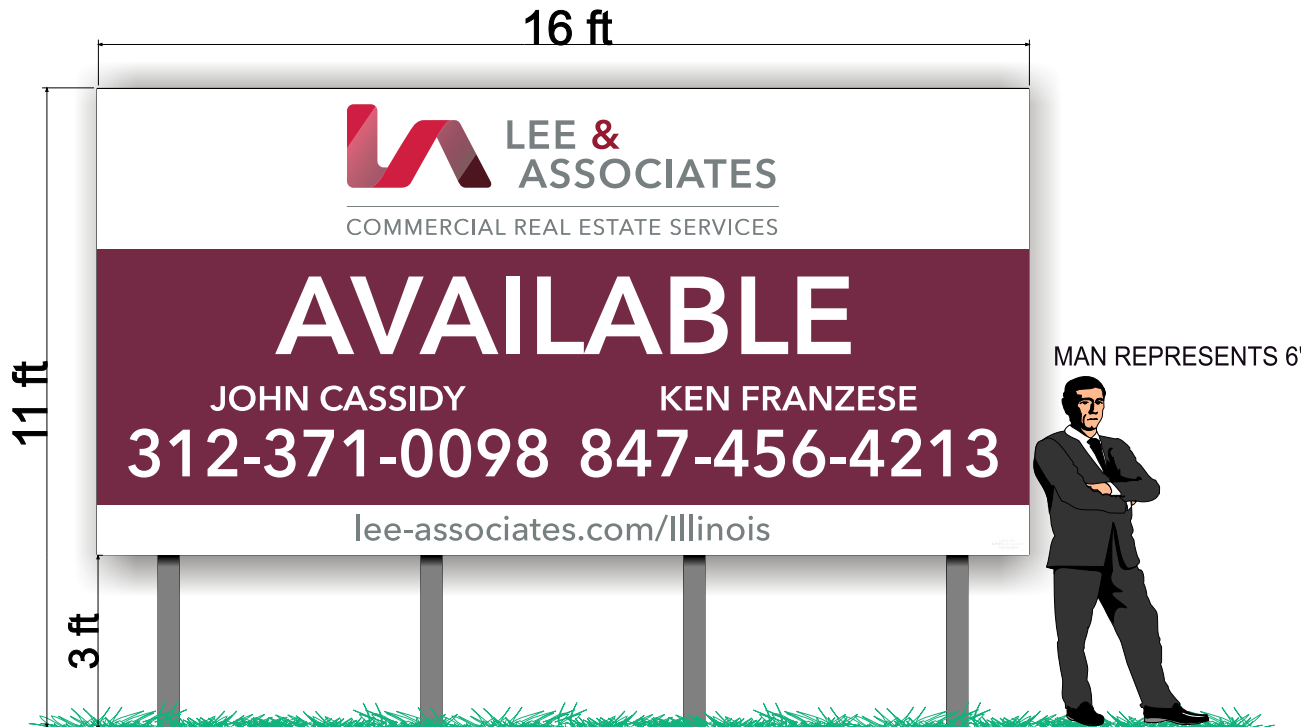
FILE ID:

LA033126C

REVISIONS:

- 1.
- 2.
- 3.
- 4.
- 5.
- 6.
- 7.

SCALE:



APPROVAL _____

DATE _____

COLOR ON ACTUAL SIGN MAY VARY SLIGHTLY FROM ELECTRONIC PROOF
CNC GRAPHICS IS NOT RESPONSIBLE FOR DAMAGE/REPAIR TO WALL SURFACES AFTER INSTALLATION OF WALL SIGNAGE DUE TO MOUNTING HOLES REQUIRED TO INSTALL
CNC GRAPHICS IS NOT RESPONSIBLE FOR DAMAGE TO ANY PRIVATE UNDERGROUND UTILITY SUCH AS IRRIGATION SYSTEMS, PARKING LOT LIGHTS, ETC. -THIS IS THE RESPONSIBILITY OF OWNERSHIP TO MARK PRIOR TO ANY WORK BEING STARTED**
**JULIE UNDERGROUND LOCATING SERVICE IS NOT AWARE OF ANY PRIVATE UTILITIES AND THEREFORE DOES NOT MARK THEM.

Village of Hampshire
Variance – Finding of Facts

1. That the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations governing the district in which it is located, and that the variation, if granted, will not alter the essential character of the locality.

Response: The subject property is being developed as a significant commercial/industrial project intended to attract tenants/buyers from a broad geographic area including those traveling via interstate I-90. Strict application of the Village's sign regulations would impair the property's exposure on I-90, thereby limiting the effectiveness of the marketing efforts and ultimate success of the development. Granting the variance will not alter the essential character of the locality. The signage is appropriately sized for I-90 signage and designed to enhance the project and act as an identifier for the property.

2. That the plight of the owner is due to unique circumstances and that the variation, if granted, will not alter the essential character of the locality.

Response: The circumstances giving rise to the requested variance are unique to this property given the fact that it fronts on I-90, a high-speed interstate where motorists have limited viewing time and require greater visibility distance in order to read said signage. The requested signage will face I-90 only and therefore will not affect other properties and will not alter the essential character of the locality. The interstate frontage is both a benefit and a constraint as there is added exposure only if the signage is large enough for motorists to identify at higher speeds.



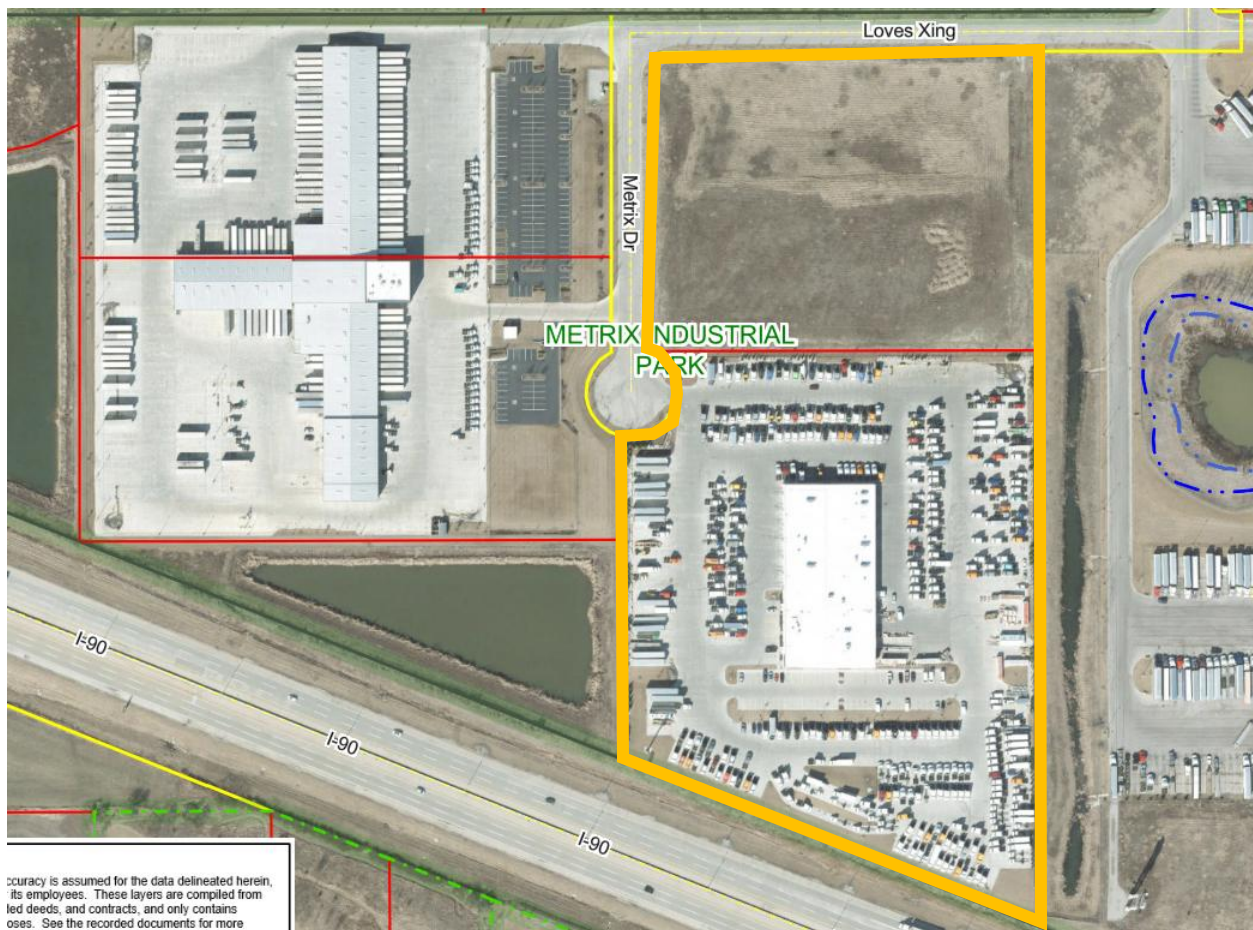
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AGENDA SUPPLEMENT

TO: Planning & Zoning Commission
FROM: Mo Khan, Assistant Village Manager for Development
FOR: Planning & Zoning Commission Meeting on July 27, 2026
RE: PZC-26-09 - 203 Loves Crossing & 205 Metrix Drive - Variance

PROPOSAL: Chris Helle (Petitioner & Owner) is requesting the approval of the following to construct a temporary gravel parking lot:

1. Request for Variance to Sec. 6-11-2-J of the Hampshire Zoning Ordinance to permit a temporary gravel parking lot, whereas parking lots must be constructed of a paved surface.



Accuracy is assumed for the data delineated herein, its employees. These layers are compiled from recorded deeds, and contracts, and only contains uses. See the recorded documents for more



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BACKGROUND: Truck Country currently operates a business at 205 Metrix Dr. The business is planning to expand its operation that will include constructing two additions on the existing building and expanding its parking lot onto the property located at 203 Metrix Dr. In order to accommodate the additions and the new parking lot, a temporary gravel parking lot is being requested to park trucks and trailers at 203 Loves Crossing for a period of twelve months. Before or after the twelve months expires, Truck Country plans to pave the new parking lot area in accordance with Sec. 6-11-2-J of the Hampshire Zoning Ordinance.

ANALYSIS: The subject properties are approximately 21 acres and located at the southeast corner of Loves Crossing and Metrix Drive. The property at 205 Metrix Dr. is currently improved with an approximately 45,000 square feet building and truck/trailer parking lot. The property at 203 Loves Crossing is currently unimproved.

The subject properties are zoned:

1. 205 Metrix Dr. - HC, Highway Commercial
2. 203 Loves Crossing - M-1, Restricted Industrial

The following are the adjacent property zoning and uses:

North: F- Farming (Unincorporated Kane County) - Residential/Farming
South: Interstate 90
East: HC, Highway Commercial - Gas Station/Truck Stop
West: M-2, General Industrial - Logistics/Warehouse

REQUIRED FINDINGS OF FACT: The following are the required findings of fact for a Variance per Sec. 6-14-3-F-11-a:

1. That the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations governing the district in which it is located, and that the variation, if granted, will not alter the essential character of the locality.
2. That the plight of the owner is due to unique circumstances and that the variation, if granted, will not alter the essential character of the locality

PROPOSED FINDINGS OF FACT: The proposed findings of fact shall be as follows:

1. The subject property cannot yield a reasonable return due to the maneuvering needs for the truck and trailers parked at the subject property. Additionally, the temporary gravel parking lot will become the base of the paved surface for the new parking lot area. The requested variance will not alter the essential character of the locality as it is located adjacent to other truck/trailer storage uses.



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2. The plight of the owner is due to unique circumstances as the business will need to maneuver and move around trucks and trailers as the two building additions are being built. Additionally, the temporary gravel parking lot will become the base of the paved surface for the new parking lot area. The requested variance will not alter the essential character of the locality as it is located adjacent to other truck/trailer storage uses.

PUBLIC COMMENTS: Village staff has not received any public comments regarding this petition as of July 23, 2026.

STAFF RECOMMENDED CONDITIONS OF APPROVAL: Village staff is recommending the following condition of approval:

1. The temporary gravel parking lot shall only be utilized for a maximum of twelve months from the date of Village Board approval and then shall be constructed as a paved parking lot in order to park and store any vehicles, trucks, and trailers.

RECOMMENDED MOTION:

I move to accept and adopt Staff's Findings of Fact included in the Agenda Supplement and recommend approval of Case# PZC-26-09 for a variance to Sec. 6-11-2-J to permit a gravel parking lot, whereas a paved surface is required, for a period of twelve months and pursuant to Staff's Recommend Condition of Approval.

DOCUMENTS ATTACHED:

1. Land Use Application
2. Plat of Survey
3. Site Plan
4. Petitioner's Findings of Fact



Village of Hampshire
234 S. State Street, Hampshire, IL 60140
Phone: 847-683-2181 ▪ www.hampshireil.org

Land Use Application

Date: 6/29/2026

The Undersigned respectfully petitions the Village of Hampshire to review and consider granting the following approval(s) on the land herein described.
(check all that apply)

- ☒ Variance*
- ☐ Special Use Permit*
- ☐ Rezoning from _____ District to _____ District (ex. M1 to M2)*
- ☐ Annexation*
- ☐ Subdivision
- ☐ Other Site Plan: _____

*requires a 15-30 day public notice period

APPLICANT INFORMATION

APPLICANT (print or type)

Name: Chris Helle Email: chrishelle@mccoygroup.com
Address: 501 Bell St. Dubuque, IA 52001 Phone: 563-845-3352

CONTACT PERSON (if different from applicant)

Name: Chris Johns Email: chrisj@eua.com
Address: 333 East Chicago St. Milwaukee, WI Phone: 414-291-8152

IS THE APPLICANT THE OWNER OF THE SUBJECT PROPERTY?

x YES ___ NO

If the applicant is not the owner of the subject property, a written and signed statement from the owner authorizing the applicant to file must be attached to this application.

IS THE OWNER A TRUSTEE/BENEFICIARY OF A LAND TRUST?

___ YES x NO

If the owner of the subject property is a trustee of a land trust or beneficiaries of a land trust, a disclosure statement identifying each beneficiary of such land trust by name and address, and defining his/her interest therein, shall be attached hereto.

PROPERTY INFORMATION

Name of Development (if any): METRIX INDUSTRIAL PARK

Address: 203 LOVES XING HAMPSHIRE, IL 60140

Parcel Number(s): 01-03-251-001

Total Area (acres): 7.52 acres

Legal Description: must be attached to this application

Fire Protection District: _____

School District: _____

Library District: _____

Park District: _____

Township: _____

Current Zoning District: M-1 Restricted Industrial

Current Use:

Vacant

Proposed Zoning/Variance/Use:

Sec. 6-11-2-J, which requires parking lots to be a paved surface

Reason/Explanation for Zoning/Variance/Use:

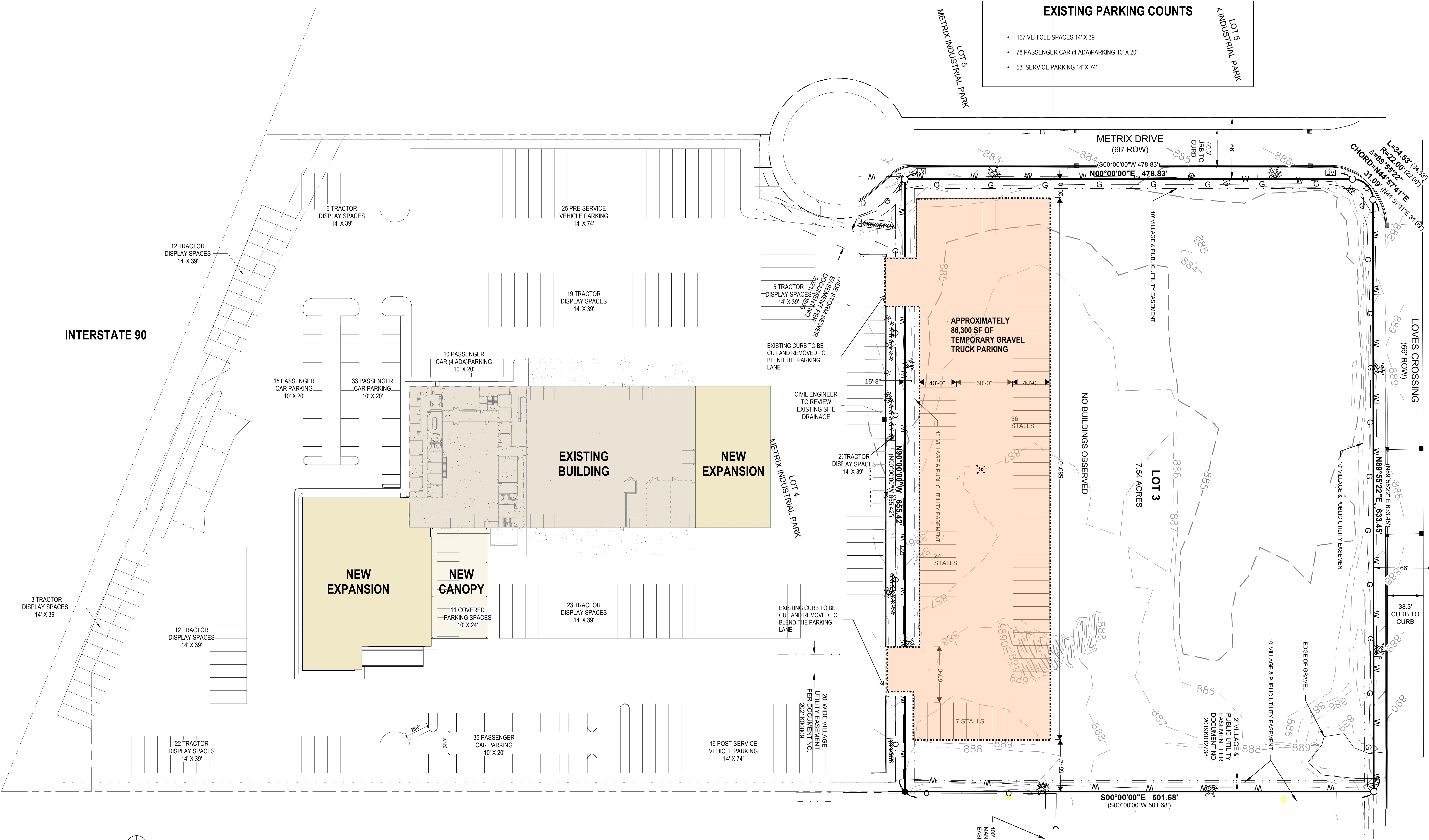
Truck Country is planning to connect the new parcel and expand the parking area for the existing retail truck sales & service located at 205 Metrix Dr. and while adding two additions to the existing building. Truck Country is proposing to construct a temporary gravel parking lot at 203 Loves Xing for approximately 60 truck to the east of the existing facility. The added temporary parking will alleviate the truck traffic congestion during the construction project and will need to be in place for 12 months.

LOT 3 OF METRIX INDUSTRIAL PARK, BEING A PART OF SECTION 3, TOWNSHIP 42 NORTH, RANGE 6 EAST OF THE THIRD PRINCIPAL MERIDIAN
IN THE TOWNSHIP OF HAMPSHIRE, KANE COUNTY, ILLINOIS

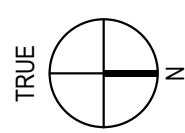


NEW PARKING COUNTS	
•	312 VEHICLE SPACES 14' X 39'
•	93 PASSENGER CAR (4 ADA) PARKING 10' X 20'
•	11 COVERED SPACE 10' X 24'
•	56 SERVICE PARKING 14' X 74'

EXISTING PARKING COUNTS	
•	167 VEHICLE SPACES 14' X 39'
•	78 PASSENGER CAR (4 ADA) PARKING 10' X 20'
•	53 SERVICE PARKING 14' X 74'



SITE ALTA COORD



SITE PLAN

June 25, 2026
Truck Country

Village of Hampshire
Variance – Finding of Facts

1. That the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations governing the district in which it is located, and that the variation, if granted, will not alter the essential character of the locality

Response:

The gravel paving surface will be a temporary condition to increase safety on the existing Truck Country at 205 Metrix Drive, during the construction phase for the two planned additions to the building. The completed condition for 203 Loves Xing is approximately 220 truck parking stalls for retail sales which will be paved with concrete.

2. That the plight of the owner is due to unique circumstances and that the variation, if granted, will not alter the essential character of the locality

Response:

The dealership is planning to increase both the warehouse and service area, so the site will be changing. Granting the variance will allow for earlier safer storage and traffic flow on site while the construction projects take place. This will be a temporary condition for 12 months, and the final construction on the lot will be concrete paving.